

FLOOR COVERING					
GROUND FLOOR			FIRST FLOOR		
	UNIT #1	UNIT #2	UNIT #1	UNIT #2	
STUDY	LAMINATE	LAMINATE	BEDS	CARPET	CARPET
HOME O.	LAMINATE	LAMINATE	STUDY N.	LAMINATE	LAMINATE
DINING	LAMINATE	LAMINATE	HALLWAY	LAMINATE	LAMINATE
FAMILY	LAMINATE	LAMINATE			
KITCHEN	LAMINATE	LAMINATE			
STAIRS	LAMINATE	LAMINATE			

EXTERNAL COLOUR	
ROOF	EXTERNAL WALL
DARK/MEDIUM/LIGHT	DARK/MEDIUM/LIGHT

NOTE:
STORMWATER TO BE CONNECTED
TO RAIN WATER TANK
OVERFLOW TO BE DETERMINED
BY HYDRAULIC ENGINEER.

RAINWATER TANK DUAL
PLUMBING CONNECTED AS
PER BASIX CERTIFICATE

ALL WORKS TO BE CARRIED OUT
IN ACCORDANCE WITH
REQUIREMENTS SET OUT ON THE
BASIX/NATHERS CERTIFICATE

L.G.A : BANKSTOWN SITE CALCULATIONS	
A. UNIT 1 GROUND FLOOR AREA	148.35m²
B. UNIT 1 FIRST FLOOR AREA	98.47m²
C. UNIT 2 GROUND FLOOR AREA	148.35m²
D. UNIT 2 FIRST FLOOR AREA	98.47m²
E. TOTAL BUILDING AREA	493.64m²
F. UNIT 1 GARAGE AREA	18.62m²
G. UNIT 2 GARAGE AREA	18.62m²
H. UNIT 1 PORCH AREA	4.09m²
I. UNIT 2 PORCH AREA	4.09m²
J. UNIT 1 ALFRESCO AREA	22.75m²
K. UNIT 2 ALFRESCO AREA	22.75m²
L. UNIT 1 BALCONY AREA	4.30m²
M. UNIT 2 BALCONY AREA	4.30m²
N. EXT. WALLS + VOID AREA	41.04m²
O. DRIVEWAY AREA (APPROX.)	56.60m²
P. SITE AREA	739.80m²
FSR: E - (F+G+H+I+J+K+L+M+N) / P	0.48 : 1
SITE COVERAGE: A+C+O / P	47.76%
LANDSCAPED AREA:	52.24%

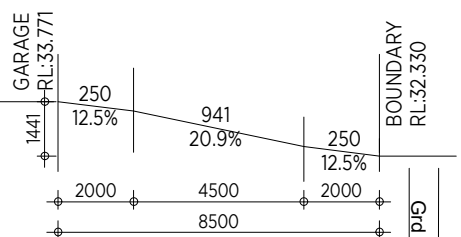
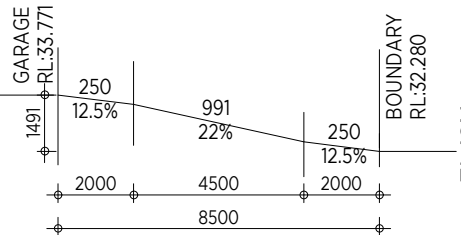
FOR DURABILITY REQ'S
REFER TO ENG'S DETAILS

KEY

ET : Electric Turret	ET	LIN : Lintel	
LP : Light Pole	LP	KO : Kerb Outlet	+
PP : Power Pole	PP	SIP : Sewer Insp Point	o
GAS : Gas Meter	G	SMS : Sewer Maint. Shaft	o
HYD : Hydrant	H	SMH : Sewer Manhole	o
SV : Stop Valve	SV	TEL : Telecom Pit	■
WC : Water Connection	WC	PC : Pram Crossing	
WM : Water Meter	WM	VC : Vehicle Crossing	
SWP : Stormwater Pit	SWP	DH&W: Drillhole & Wing	■

- ⓓ Denotes Door
Ⓦ Denotes Window

MARINE ENVIRONMENT CONDITIONS: (BY BUILDER)
-Exposed steel beams and lintels - finished to R3 durability.
-Enclosed steel beams - finished to R3 durability.
-Brick ties and expansion ties - R3 galvanised.
-Bricks - general purpose.
-Mortar type/mix - M3.
-Exposed nails - to be galvanised
-Sarking to underside of roof tiles.



NOTE: REFER TO ELECTRICAL PLAN
PREPARED BY CLIPSAL FOR ALL ELECTRICAL
REQUIREMENTS

OWNER(S) ACCEPTANCE

I/WE HEREBY APPROVE OUR BUILDING PLANS
TO BE BUILT ON OUR LAND.

I/WE HAVE STUDIED THE PLANS AND HAVE
HAD THEM EXPLAINED TO US AND ACCEPT
AND APPROVE THE FRONT/REAR/SIDE
SETBACKS AND CUT/FILL LEVELS AS SHOWN
ON THE PLAN.
I/WE ACCEPT NO CHANGES CAN BE MADE.

I/WE HAVE HAD THE DRIVEWAY GRADIENT
EXPLAINED.

I/WE HAVE HAD THE BASIX WATER TANK OR
THE DUAL WATER PLUMBING EXPLAINED.

I/WE HAVE HAD OUR CHOSEN
ALTERATIONS/VARIATIONS EXPLAINED TO US.

I/WE HEREBY APPROVE OUR PLANS AND GIVE
CONSENT TO ALLCASTLE HOMES P/L TO
LODGE OUR PLANS TO APPROVING
AUTHORITY FOR A DEVELOPMENT
APPLICATION.

I/WE UNDERSTAND THAT NO FURTHER
PHYSICAL CHANGES CAN BE MADE
I/WE UNDERSTAND THAT DUE TO
CONSTRUCTION CONSTRAINTS, THE BUILDER
MAY VARY PLANS ON SITE TO SUIT.

I/WE UNDERSTAND ANY SURFACE DRAINAGE
OR RETAINING WALLS REQUIRED BY
APPROVING AUTHORITY ARE TO BE
COMPLETED WITH LANDSCAPING BY OWNER

OWNER OWNER DATE

12.03.25 PR	C (T04)	DA SUBMISSION
10.02.25 SP	B (T04)	PP AMENDMENTS
21.01.25	A (T03)	FIRST DRAW
DATE	ISSUE	REVISION

NOTE: ALL WORKS TO COMPLY WITH BCA 2022 AND RELEVANT AUSTRALIAN STANDARDS
- NOTE: ALL WALLS WITHIN 900mm OF BOUNDARY TO BE 60/60/60 - ALL DIMENSIONS ARE
IN MILLIMETRES. - ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE - USE WRITTEN
DIMENSIONS. - THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED
WITHOUT THE WRITTEN PERMISSION OF ALLCASTLE HOMES PTY LTD.
- ABN 12057 761 378

PROPOSED RESIDENCE		RUTHERGLEN MKII DUPLEX	
FOR: Mr. F HAGEALI		MODIFIED STELLA NEW HOME FACADE	
AT: LOT 98 (#44) COLIN STREET, LAKEMBA		DATE: 21.01.25	SCALE: 1:200
DP: 5654		DRAWN: DI	CHECKED
		SHEET NO: 01	JOB NO: 7740

SALES: PHONE: (02) 9629 4772
FAX: (02) 9629 5813
HEAD OFFICE: 96-100 TOONGABBIE ROAD,
GIRRAWEE NSW 2145
PHONE: (02) 9672 7055
FAX: (02) 9672 7033
ABN: 12057761378 BLDG.LIC.39371



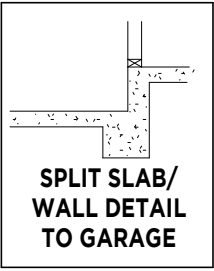
PROVIDE 300MM FLOOR JOISTS

EXTERNAL DIMENSIONS OF HOME MAY NOT BE EXACT MULTIPLES OF BRICK AND IN SOME LOCATIONS UNEVEN CUTS TO BRICKS/ STORM MOULDS MAY BE REQUIRED

ALL STEEL TO BE MEASURED (HEIGHT) & FLOORING TO BE CHECKED OVER IF REQUIRED

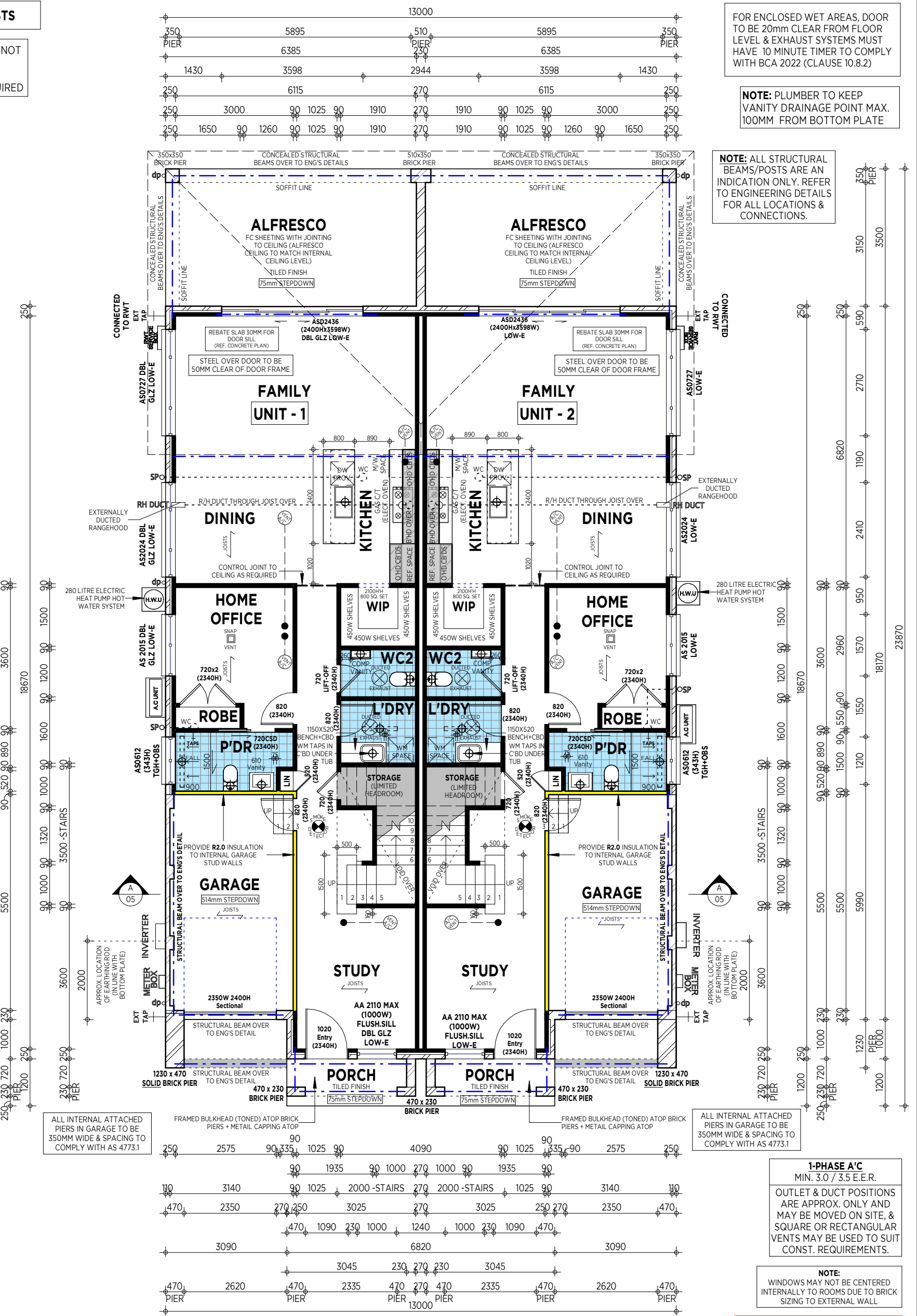
SHOWER ROSES TO BE 1850 OFF FLOOR PRIOR TO TILING FOR STANDARD ADJUSTABLE ROSE (IF FIXED SHOWER ROSE IS SELECTED, MOUNT AT 2000 HIGH)

NOTE: PROVIDE CONTROL JOINT TO ANY UNBROKEN CEILING GREATER THAN 12m IN LENGTH.
** LOCATION OF ANY OTHER CONTROL JOINT IN PLASTERBOARD AS PER MANUFACT INSTALLATION GUIDE **



NOTE: REFER TO ELECTRICAL PLAN PREPARED BY CLIPSAL FOR ALL ELECTRICAL REQUIREMENTS

OWNER(S) ACCEPTANCE
I/WE HEREBY APPROVE OUR BUILDING PLANS TO BE BUILT ON OUR LAND.
I/WE HAVE STUDIED THE PLANS AND HAVE HAD THEM EXPLAINED TO US AND ACCEPT AND APPROVE THE FRONT/REAR/SIDE SETBACKS AND CUT/FILL LEVELS AS SHOWN ON THE PLAN.
I/WE ACCEPT NO CHANGES CAN BE MADE.
I/WE HAVE HAD THE DRIVEWAY GRADIENT EXPLAINED.
I/WE HAVE HAD THE BASIX WATER TANK OR THE DUAL WATER PLUMBING EXPLAINED.
I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.
I/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT APPLICATION.
I/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE
I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.
I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE COMPLETED WITH LANDSCAPING BY OWNER
OWNER
OWNER
DATE



FOR ENCLOSED WET AREAS, DOOR TO BE 20mm CLEAR FROM FLOOR LEVEL & EXHAUST SYSTEMS MUST HAVE 10 MINUTE TIMER TO COMPLY WITH BCA 2022 (CLAUSE 10.8.2)

NOTE: PLUMBER TO KEEP VANITY DRAINAGE POINT MAX. 100MM FROM BOTTOM PLATE

NOTE: ALL STRUCTURAL BEAMS/POSTS ARE AN INDICATION ONLY. REFER TO ENGINEERING DETAILS FOR ALL LOCATIONS & CONNECTIONS.

1-PHASE A/C
MIN. 3.0 / 3.5 E.E.R.
OUTLET & DUCT POSITIONS ARE APPROX. ONLY AND MAY BE MOVED ON SITE, & SQUARE OR RECTANGULAR VENTS MAY BE USED TO SUIT CONST. REQUIREMENTS.

NOTE: WINDOWS MAY NOT BE CENTERED INTERNALLY TO ROOMS DUE TO BRICK SIZING TO EXTERNAL WALL

TIMBER FRAME CONSTRUCTION

SELECTED WALL WRAP TO ALL EXTERNAL FRAMES

ALL DOWNPIPES TO BE PVC, CIRCULAR & SET 240MM FROM OUTSIDE OF EDGE TO CENTRELINE OF D.P. UNLESS OTHERWISE INDICATED

IF REQUIRED, BEAMS TO BE PACKED WITH **NON-COMPRESSIBLE MATERIAL** TO ENSURE FLOORS AND FRAMES ARE LEVEL

GROUND FLOOR

PROPOSED RESIDENCE	RUTHERGLEN MKII DUPLEX MODIFIED STELLA NEW HOME FACADE
FOR: Mr. F HAGEALI	DATE: 21.01.25 DRAWN: DI
AT: LOT 98 (#44) COLIN STREET, LAKEMBA	SHEET NO: 02

SALES: PHONE: (02) 9629 4772 FAX: (02) 9629 5813 HEAD OFFICE: 96-100 TOONGABBIE ROAD, GIRRAWEE NSW 2145 PHONE: (02) 9672 7055 FAX: (02) 9672 7033 ABN: 12057761378 BLDG.LIC.39371
--

Allcastle Homes

Make it Home

allcastlehomes.com.au

EXTERNAL DIMENSIONS OF HOME MAY NOT BE EXACT MULTIPLES OF BRICK AND IN SOME LOCATIONS UNEVEN CUTS TO BRICKS/ STORM MOULDS MAY BE REQUIRED

NOTE: WHERE FLOOR LEVEL IS >2M ABOVE EXTERNAL SURFACE BENEATH WINDOW, AND WHERE THE OPENABLE SASH IS <1.7M, ANY OPENABLE WINDOW IN A BEDROOM MUST BE RESTRICTED TO A 125MM OPENING. IN REGARDS TO OTHER ROOMS, THIS APPLIES WHERE THE FLOOR LEVEL IS >4M.

R DENOTES **RESTRICTION** ON THE WINDOW

NOTE: WINDOWS MAY NOT BE CENTERED INTERNALLY TO ROOMS DUE TO BRICK SIZING TO EXTERNAL WALL

ALL DOWNPIPES TO BE PVC, CIRCULAR & SET 240MM FROM OUTSIDE OF EDGE TO CENTRELINE OF D.P. UNLESS OTHERWISE INDICATED

1-PHASE A/C
MIN. 3.0 / 3.5 E.E.R.
OUTLET & DUCT POSITIONS ARE APPROX. ONLY AND MAY BE MOVED ON SITE, & SQUARE OR RECTANGULAR VENTS MAY BE USED TO SUIT CONST. REQUIREMENTS.

NOTE: ALL STRUCTURAL BEAMS/POSTS ARE AN INDICATION ONLY. REFER TO ENGINEERING DETAILS FOR ALL LOCATIONS & CONNECTIONS.

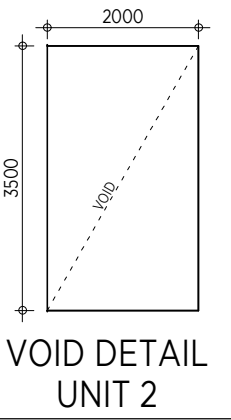
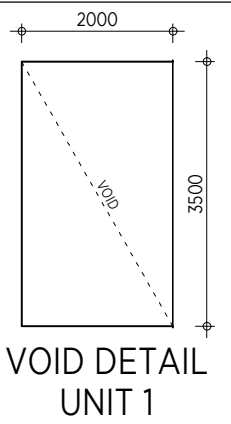
SHOWER ROSES TO BE 1850 OFF FLOOR PRIOR TO TILING FOR STANDARD ADJUSTABLE ROSE (IF FIXED SHOWER ROSE IS SELECTED, MOUNT AT 2000 HIGH)

TIMBER FRAME CONSTRUCTION

NOTE: PLUMBER TO KEEP VANITY DRAINAGE POINT MAX. 100MM FROM BOTTOM PLATE

ALL STEEL TO BE MEASURED (HEIGHT) & FLOORING TO BE CHECKED OVER IF REQUIRED

PROVIDE 300MM FLOOR JOISTS



NOTE: PROVIDE CONTROL JOINT TO ANY UNBROKEN CEILING GREATER THAN 12m IN LENGTH.
** LOCATION OF ANY OTHER CONTROL JOINT IN PLASTERBOARD AS PER MANUFACT. INSTALLATION GUIDE **

NOTE: REFER TO ELECTRICAL PLAN PREPARED BY CLIPSAL FOR ALL ELECTRICAL REQUIREMENTS

OWNER(S) ACCEPTANCE
I/WE HEREBY APPROVE OUR BUILDING PLANS TO BE BUILT ON OUR LAND.

I/WE HAVE STUDIED THE PLANS AND HAVE HAD THEM EXPLAINED TO US AND ACCEPT AND APPROVE THE FRONT/REAR/SIDE SETBACKS AND CUT/FILL LEVELS AS SHOWN ON THE PLAN.
I/WE ACCEPT NO CHANGES CAN BE MADE.

I/WE HAVE HAD THE DRIVEWAY GRADIENT EXPLAINED.

I/WE HAVE HAD THE BASIX WATER TANK OR THE DUAL WATER PLUMBING EXPLAINED.

I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.

I/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT APPLICATION.

I/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE
I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.

I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE COMPLETED WITH LANDSCAPING BY OWNER

OWNER OWNER DATE

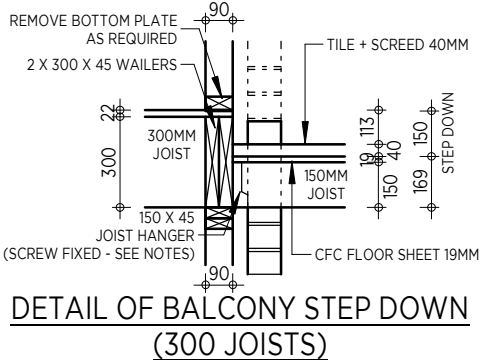
12.03.25 PR	C (T04)	DA SUBMISSION
10.02.25 SP	B (T04)	PP AMENDMENTS
21.01.25	A (T03)	FIRST DRAW

DATE	ISSUE	REVISION
------	-------	----------

NOTE: ALL WORKS TO COMPLY WITH BCA 2022 AND RELEVANT AUSTRALIAN STANDARDS
- NOTE: ALL WALLS WITHIN 900mm OF BOUNDARY TO BE 60/60/60 - ALL DIMENSIONS ARE IN MILLIMETRES. - ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE - USE WRITTEN DIMENSIONS. - THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION OF ALLCASTLE HOMES PTY LTD.
- ABN 12057 761 378

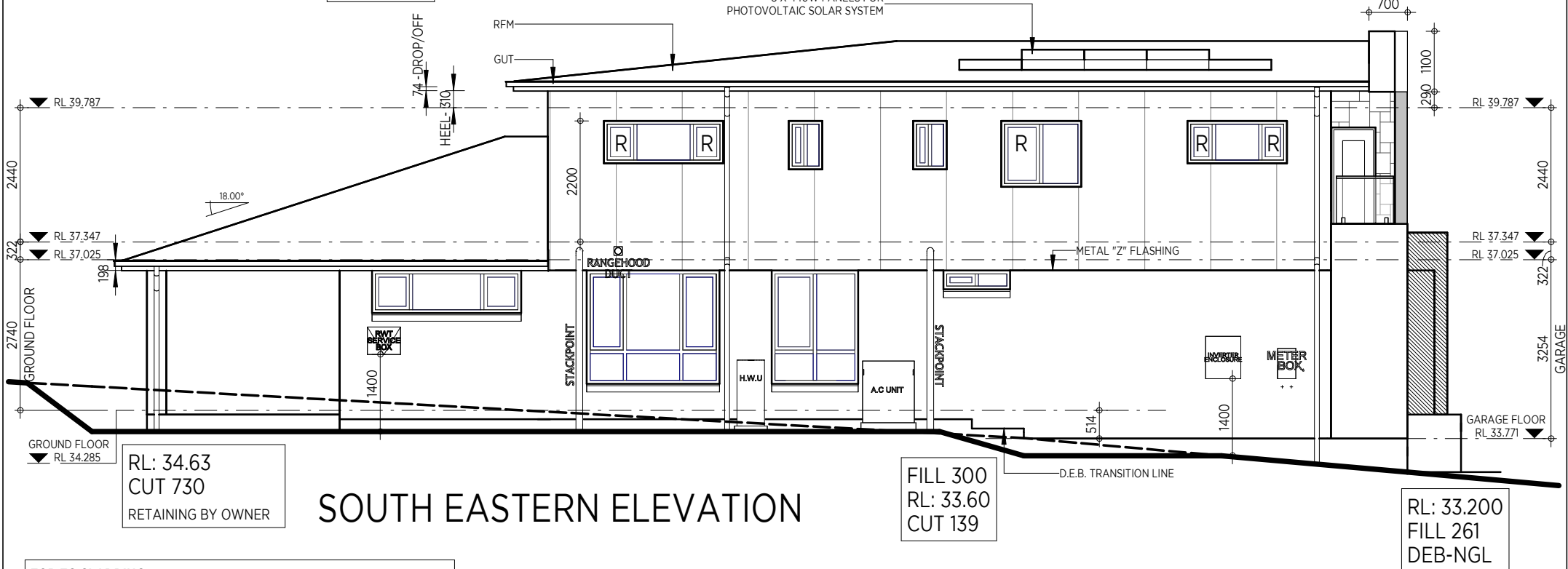
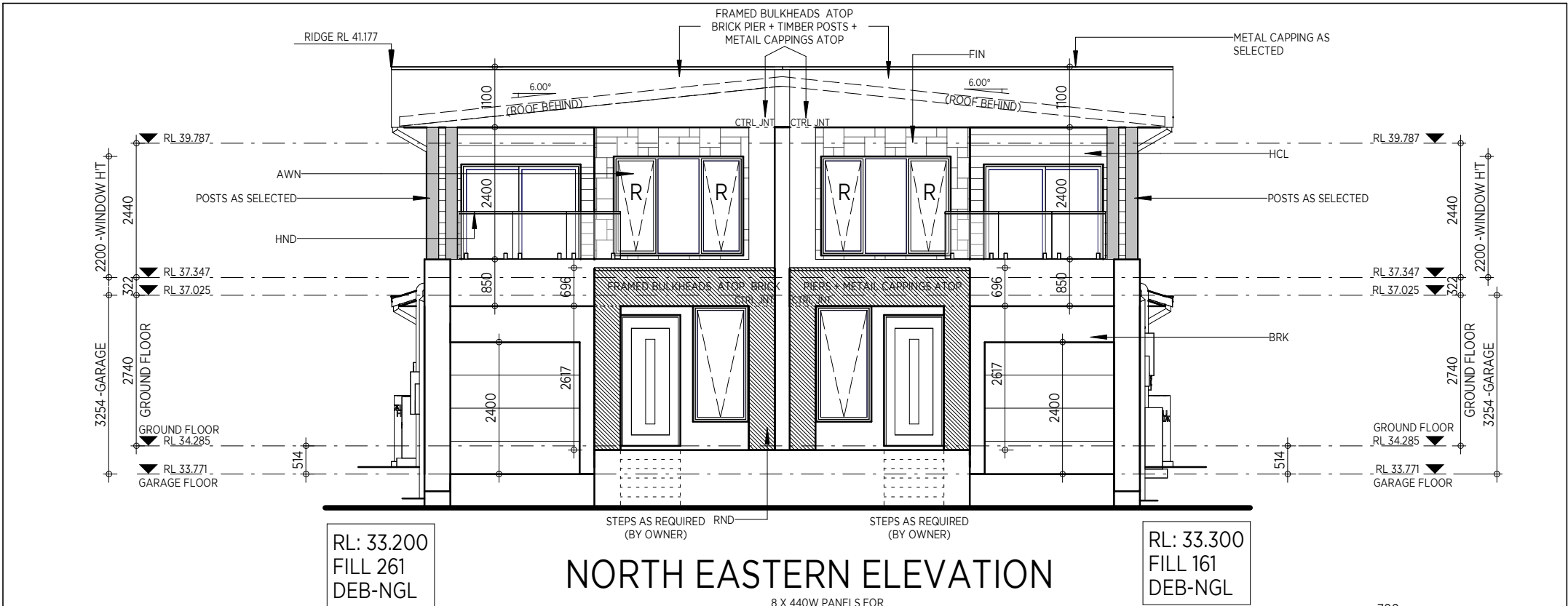
PROPOSED RESIDENCE	RUTHERGLEN MKII DUPLEX MODIFIED STELLA NEW HOME FAÇADE
FOR: Mr. F HAGEALI	DATE: 21.01.25 DRAWN: DI SHEET NO: 03
AT: LOT 98 (#44) COLIN STREET, LAKEMBA	SCALE: As indicated CHECKED JOB NO: 7740

SALES: PHONE: (02) 9629 4772
FAX: (02) 9629 5813
HEAD OFFICE: 96-100 TOONGABBIE ROAD,
GIRRAWEE NSW 2145
PHONE: (02) 9672 7055
FAX: (02) 9672 7033
ABN: 12057761378 BLDG.LIC.39371

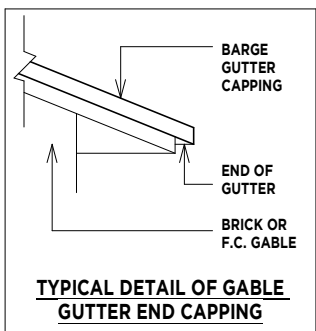


FIRST FLOOR





- FOR FC CLADDING;**
1. PROVIDE 105mm REVEALS TO THE WINDOWS
 2. CLADDING TO BE FITTED INTO WINDOW FRAMES
 3. PROVIDE 110mm PLASTIC ALCOR TO PERIMETER OF WINDOWS
 4. PROVIDE SARKING WRAP TO FRAME OF CLADDED AREAS
 5. PROVIDE 67mm x 18mm TIMBER ALONG FLASHINGS
 6. PROVIDE 13mm x 18mm TIMBER TO PERIMETER OF WINDOWS (FOR DURASHEET ONLY)



NOTE:
WINDOWS MAY NOT BE CENTERED INTERNALLY TO ROOMS DUE TO BRICK SIZING TO EXTERNAL WALL

Key Value	Keynote Text
AWN	ALUMINIUM WINDOWS AS SELECTED
BRK	BRICKWORK AS SELECTED
CLD	CLADDING W/ JOINTINGS AS SELECTED
FIN	FEATURE FINISH AS SELECTED
GUT	GUTTER + FASCIA AS SELECTED
HCL	HORIZONTAL CLADDING AS SELECTED
HND	HANDRAIL AS SELECTED
RFM	METAL ROOF AS SELECTED
RND	ARMAWALL RENDER (HATCHED) AS SELECTED

PROVIDE 300MM FLOOR JOISTS

EXTERNAL DIMENSIONS OF HOME MAY NOT BE EXACT MULTIPLES OF BRICK AND IN SOME LOCATIONS UNEVEN CUTS TO BRICKS/ STORM MOULDS MAY BE REQUIRED

TIMBER FRAME CONSTRUCTION

NOTE: WHERE FLOOR LEVEL IS >2M ABOVE EXTERNAL SURFACE BENEATH WINDOW, AND WHERE THE OPENABLE SASH IS <1.7M, ANY OPENABLE WINDOW IN A BEDROOM MUST BE RESTRICTED TO A 125MM OPENING. IN REGARDS TO OTHER ROOMS, THIS APPLIES WHERE THE FLOOR LEVEL IS >4M.

R DENOTES RESTRICTION ON THE WINDOW

NOTE: REFER TO ELECTRICAL PLAN PREPARED BY CLIPSAL FOR ALL ELECTRICAL REQUIREMENTS

OWNER(S) ACCEPTANCE

I/WE HEREBY APPROVE OUR BUILDING PLANS TO BE BUILT ON OUR LAND.

I/WE HAVE STUDIED THE PLANS AND HAVE HAD THEM EXPLAINED TO US AND ACCEPT AND APPROVE THE FRONT/REAR/SIDE SETBACKS AND CUT/FILL LEVELS AS SHOWN ON THE PLAN.

I/WE ACCEPT NO CHANGES CAN BE MADE.

I/WE HAVE HAD THE DRIVEWAY GRADIENT EXPLAINED.

I/WE HAVE HAD THE BASIX WATER TANK OR THE DUAL WATER PLUMBING EXPLAINED.

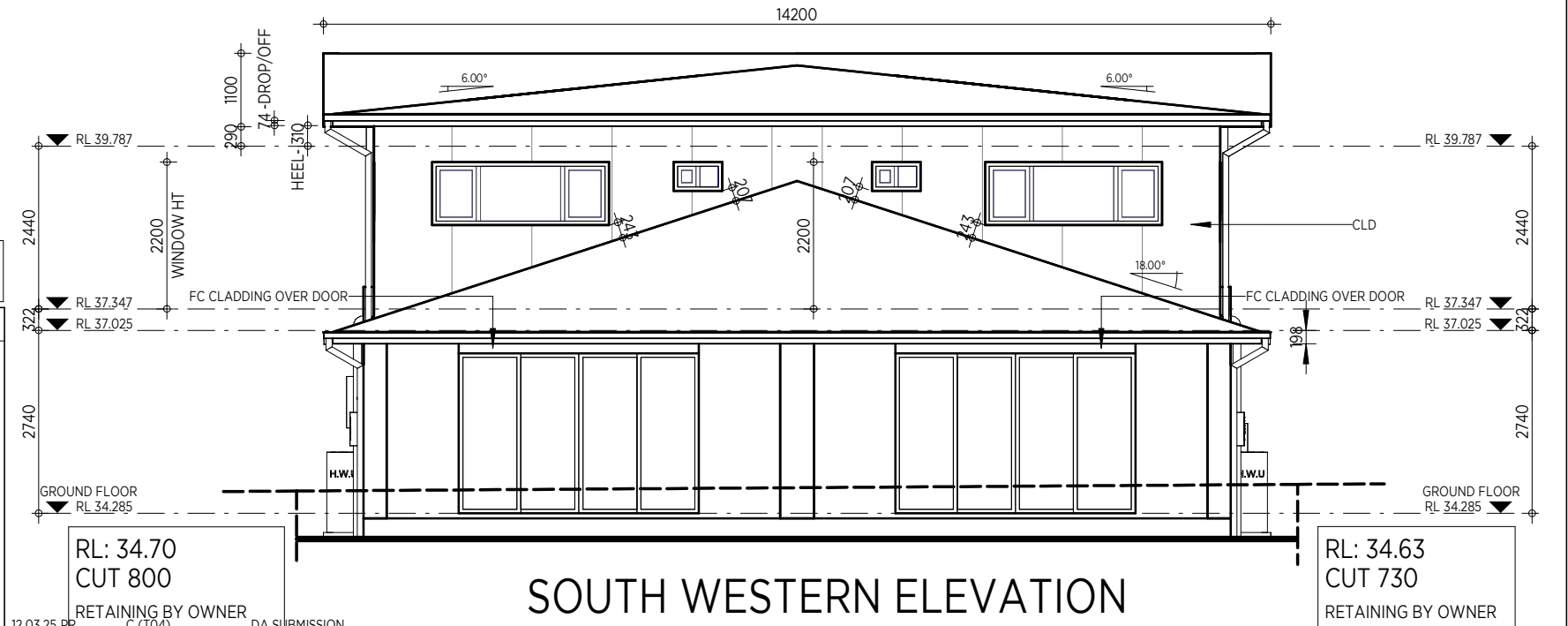
I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.

I/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT APPLICATION.

I/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE

I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.

I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE COMPLETED WITH LANDSCAPING BY OWNER



DATE	ISSUE	REVISION
12.03.25	PR	C (T04)
10.02.25	SP	B (T04)
21.01.25		A (T03)

NOTE: ALL WORKS TO COMPLY WITH BCA 2022 AND RELEVANT AUSTRALIAN STANDARDS
- NOTE: ALL WALLS WITHIN 900mm OF BOUNDARY TO BE 60/60/60 - ALL DIMENSIONS ARE IN MILLIMETRES. - ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE - USE WRITTEN DIMENSIONS. - THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION OF ALLCASTLE HOMES PTY LTD.
- ABN 12057 761 378

ALLCASTLE HOMES PTY LTD WILL TAKE NO RESPONSIBILITY FOR ANY VERBAL DISCUSSIONS OR INSTRUCTIONS. ALL CHANGES AND SPECIAL INCLUSIONS MUST BE DOCUMENTED IN WRITING. IT IS THE RESPONSIBILITY OF THE OWNER TO ENSURE THAT THE LAYOUT AND ALL SPECIAL INCLUSIONS ARE CORRECT.NOTE: WET AREA SYMBOLS ARE STRICTLY SYMBOLIC, OWNERS TO CONFIRM WET AREA ITEMS WITH SELECTIONS.

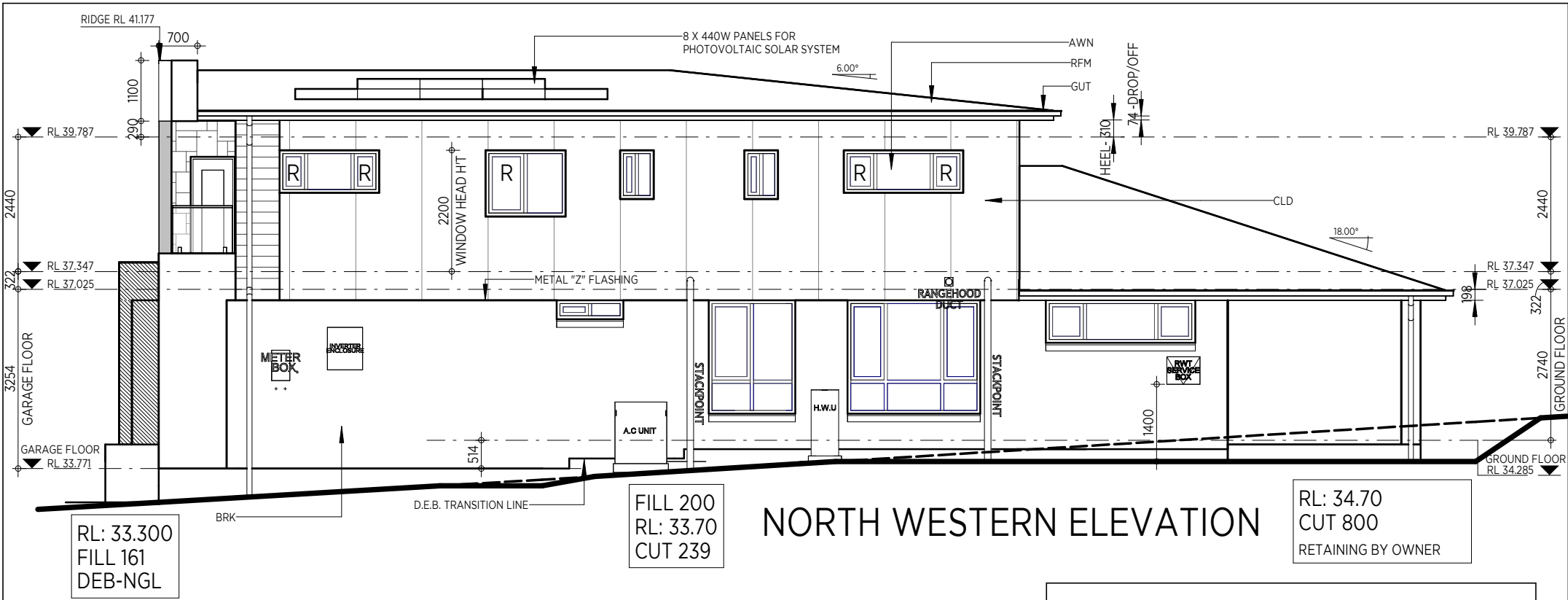
PROPOSED RESIDENCE	RUTHERGLEN MKII DUPLEX MODIFIED STELLA NEW HOME FAÇADE
FOR: Mr. F HAGEALI	DATE: 21.01.25 DRAWN: DI
AT: LOT 98 (#44) COLIN STREET, LAKEMBA	SCALE: 1:100 CHECKED SHEET NO: 04 JOB NO: 7740

SALES: PHONE: (02) 9629 4772
FAX: (02) 9629 5813
HEAD OFFICE: 96-100 TOONGABBIE ROAD,
GIRRAWEE NSW 2145
PHONE: (02) 9672 7055
FAX: (02) 9672 7033
ABN: 12057761378 BLDG.LIC.39371

Allcastle Homes

Make it Home

allcastlehomes.com.au



NORTH WESTERN ELEVATION

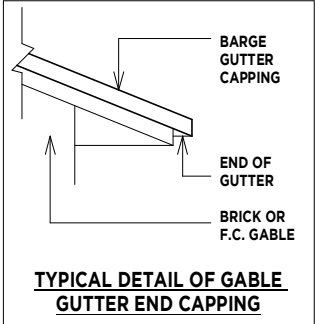
RL: 34.70
CUT 800
RETAINING BY OWNER

FOR FC CLADDING;

1. PROVIDE 105mm REVEALS TO THE WINDOWS
2. CLADDING TO BE FITTED INTO WINDOW FRAMES
3. PROVIDE 110mm PLASTIC ALCOR TO PERIMETER OF WINDOWS
4. PROVIDE SARKING WRAP TO FRAME OF CLADDIED AREAS
5. PROVIDE 67mm x 18mm TIMBER ALONG FLASHINGS
6. PROVIDE 13mm x 18mm TIMBER TO PERIMETER OF WINDOWS (FOR DURASHEET ONLY)

NOTE: WHERE FLOOR LEVEL IS >2M ABOVE EXTERNAL SURFACE BENEATH WINDOW, AND WHERE THE OPENABLE SASH IS <1.7M, ANY OPENABLE WINDOW IN A BEDROOM MUST BE RESTRICTED TO A 125MM OPENING. IN REGARDS TO OTHER ROOMS, THIS APPLIES WHERE THE FLOOR LEVEL IS >4M.

R DENOTES RESTRICTION ON THE WINDOW



HEAVY DUTY SARKING TO UNDERSIDE OF ROOFING

EXTERNAL DIMENSIONS OF HOME MAY NOT BE EXACT MULTIPLES OF BRICK AND IN SOME LOCATIONS UNEVEN CUTS TO BRICKS/ STORM MOULDS MAY BE REQUIRED

NOTE: REQUIRED ARTIFICIAL FLUORESCENT LIGHTING AS PER BASIX CERTIFICATE

Key Value	Keynote Text
AWN	ALUMINIUM WINDOWS AS SELECTED
BRK	BRICKWORK AS SELECTED
CLD	CLADDING W/ JOINTINGS AS SELECTED
FIN	FEATURE FINISH AS SELECTED
GUT	GUTTER + FASCIA AS SELECTED
HCL	HORIZONTAL CLADDING AS SELECTED
HND	HANDRAIL AS SELECTED
RFM	METAL ROOF AS SELECTED
RND	ARMWALL RENDER (HATCHED) AS SELECTED

90MM CORNICE THROUGHOUT (SQUARE SET TO BATHROOMS)

PROVIDE 300MM FLOOR JOISTS

IF REQUIRED, BEAMS TO BE PACKED WITH **NON-COMPRESSIBLE MATERIAL** TO ENSURE FLOORS AND FRAMES ARE LEVEL

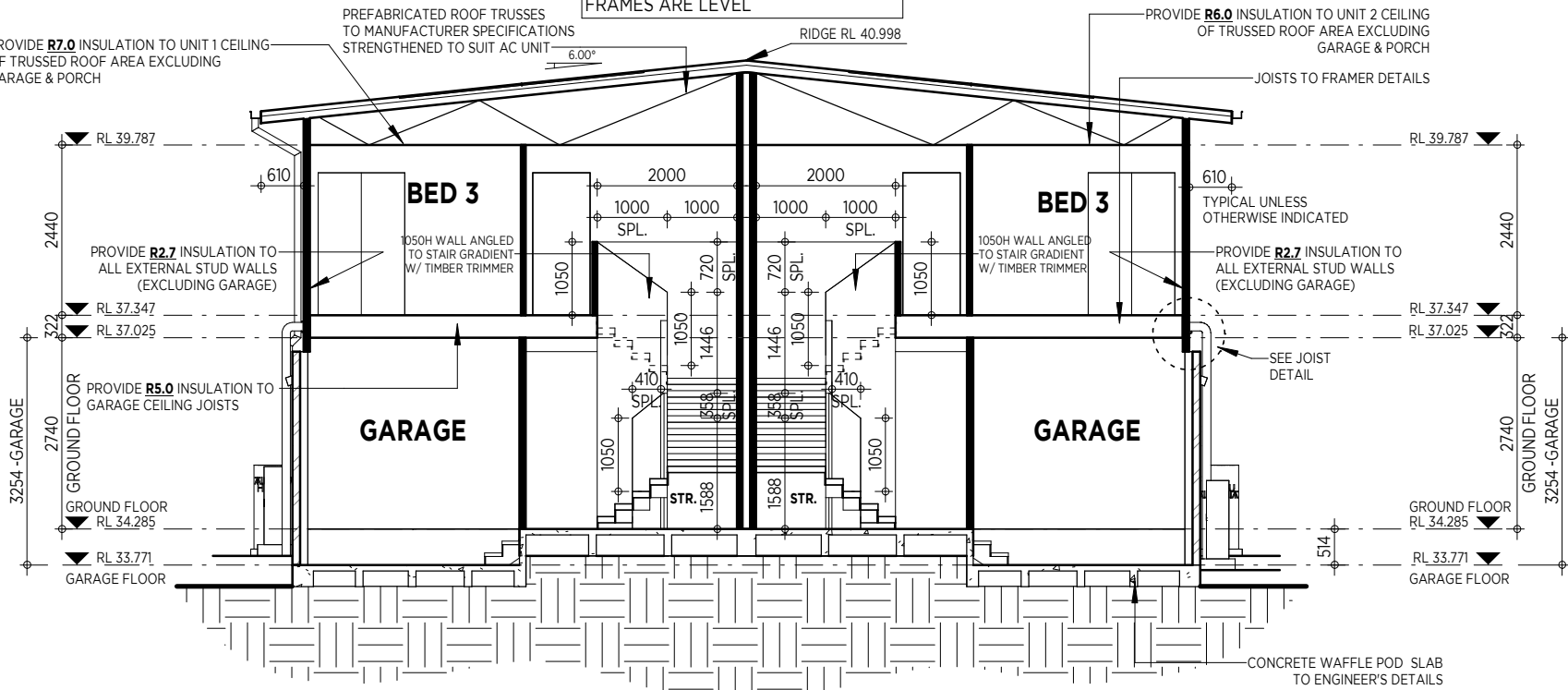
METAL ROOFING

TIMBER FRAME CONSTRUCTION

SELECTED WALL SARKING TO ALL EXTERNAL FRAMES

TERMITE-RESISTANT TREATED TIMBER FRAMES & TRUSSES

NOTE: WINDOWS MAY NOT BE CENTERED INTERNALLY TO ROOMS DUE TO BRICK SIZING TO EXTERNAL WALL



SECTION A-A

ELEVATION & SECTION

NOTE: REFER TO ELECTRICAL PLAN PREPARED BY CLIPSAL FOR ALL ELECTRICAL REQUIREMENTS

OWNER(S) ACCEPTANCE
I/WE HEREBY APPROVE OUR BUILDING PLANS TO BE BUILT ON OUR LAND.

I/WE HAVE STUDIED THE PLANS AND HAVE HAD THEM EXPLAINED TO US AND ACCEPT AND APPROVE THE FRONT/REAR/SIDE SETBACKS AND CUT/FILL LEVELS AS SHOWN ON THE PLAN.
I/WE ACCEPT NO CHANGES CAN BE MADE.

I/WE HAVE HAD THE DRIVEWAY GRADIENT EXPLAINED.

I/WE HAVE HAD THE BASIX WATER TANK OR THE DUAL WATER PLUMBING EXPLAINED.

I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.

I/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT APPLICATION.

I/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE
I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.

I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE COMPLETED WITH LANDSCAPING BY OWNER

OWNER OWNER DATE

12.03.25 PR	C (T04)	DA SUBMISSION
10.02.25 SP	B (T04)	PP AMENDMENTS
21.01.25	A (T03)	FIRST DRAW
DATE	ISSUE	REVISION

NOTE: ALL WORKS TO COMPLY WITH BCA 2022 AND RELEVANT AUSTRALIAN STANDARDS
- NOTE: ALL WALLS WITHIN 900mm OF BOUNDARY TO BE 60/60/60 - ALL DIMENSIONS ARE IN MILLIMETRES. - ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE - USE WRITTEN DIMENSIONS. - THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION OF ALLCASTLE HOMES PTY LTD.
- ABN 12057 761 378

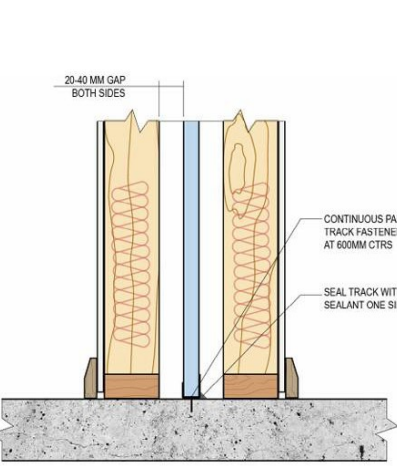
ALLCASTLE HOMES PTY LTD WILL TAKE NO RESPONSIBILITY FOR ANY VERBAL DISCUSSIONS OR INSTRUCTIONS. ALL CHANGES AND SPECIAL INCLUSIONS MUST BE DOCUMENTED IN WRITING. IT IS THE RESPONSIBILITY OF THE OWNER TO ENSURE THAT THE LAYOUT AND ALL SPECIAL INCLUSIONS ARE CORRECT.NOTE: WET AREA SYMBOLS ARE STRICTLY SYMBOLIC, OWNERS TO CONFIRM WET AREA ITEMS WITH SELECTIONS.

PROPOSED RESIDENCE	RUTHERGLEN MKII DUPLEX MODIFIED STELLA NEW HOME FAÇADE
FOR: Mr. F HAGEALI	DATE: 21.01.25 DRAWN: DI
AT: LOT 98 (#44) COLIN STREET, LAKEMBA	SHEET NO: 05 JOB NO: 7740

SALES: PHONE: (02) 9629 4772
FAX: (02) 9629 5813
HEAD OFFICE: 96-100 TOONGABBIE ROAD,
GIRRAWEE NSW 2145
PHONE: (02) 9672 7055
FAX: (02) 9672 7033
ABN: 12057761378 BLDG.LIC.39371

 **Allcastle Homes**
Make it Home
allcastlehomes.com.au

Figure 9: Concrete Slab Base



Note: The base track of the SHAFTLINER MOULDSTOP fire barrier must be fixed with approved concrete fasteners spaced at 600mm max ctrs. Plastic-sleeved fasteners are not permitted.

Figure 11: Step in Slab - Parallel 1

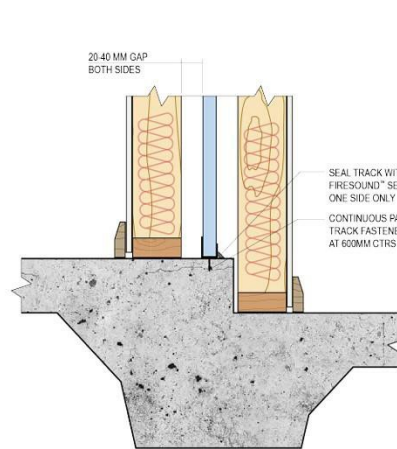


Figure 10: Masonry Base

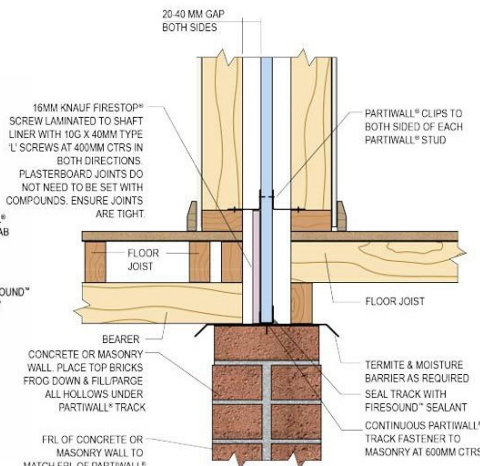


Figure 12: Step in Slab - Parallel 2

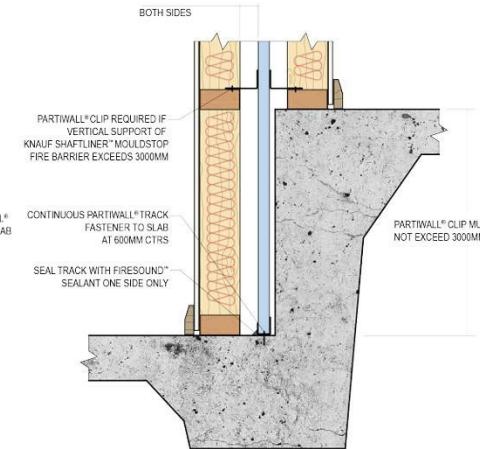


Figure 13: Step in Slab - Perpendicular

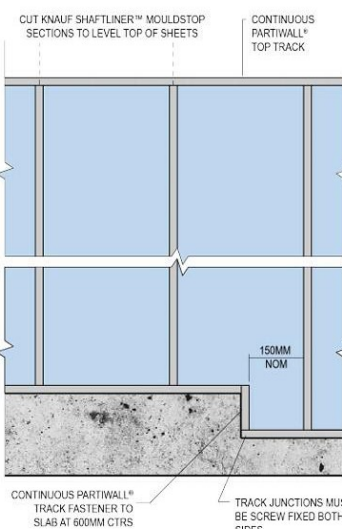


Figure 15: Pitched Roof Junction

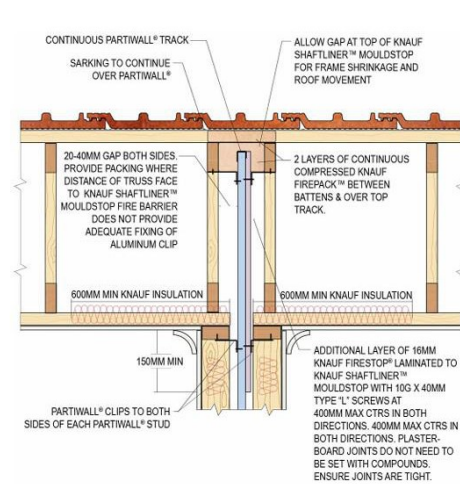


Figure 14: Floor/Wall Junction

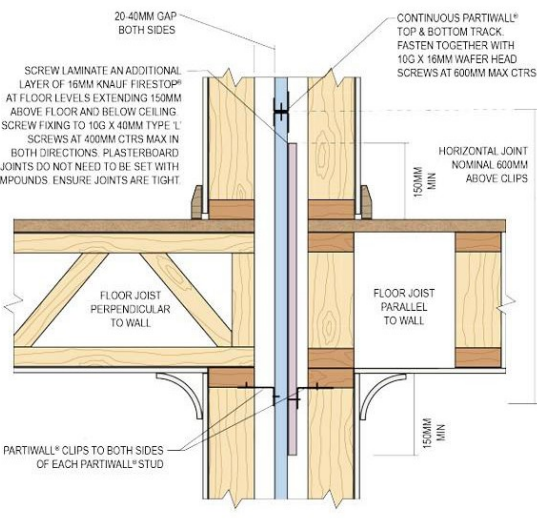


Figure 16: Parapet Roof Junction

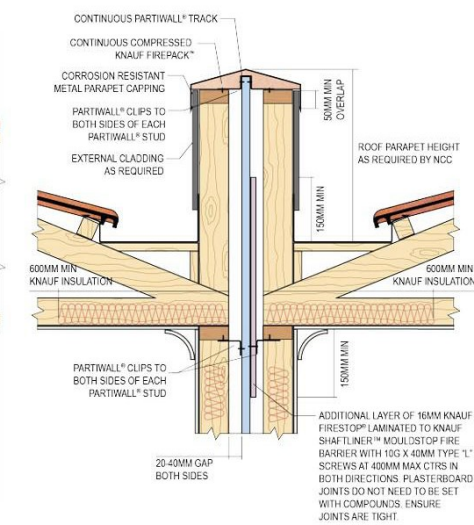
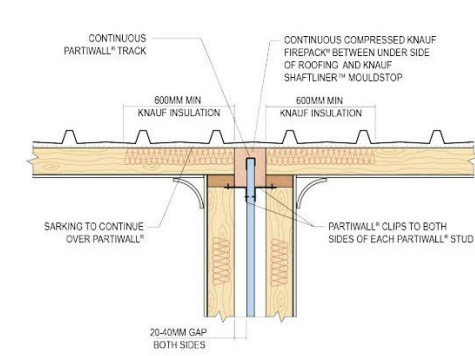


Figure 17: Flat Metal Roof



Note: Ceiling insulation must extend min 600mm both sides of the partwall and must satisfy thermal requirements. If no thermal insulation is required use insulation specified for PARTIWALL system.

Figure 18: Roof Box Gutter

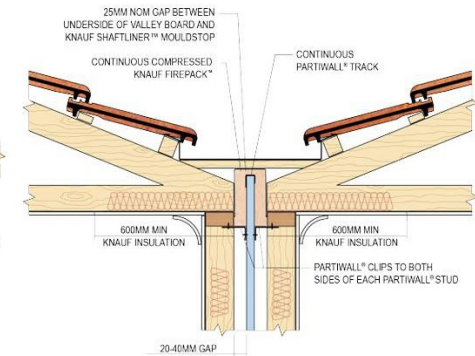
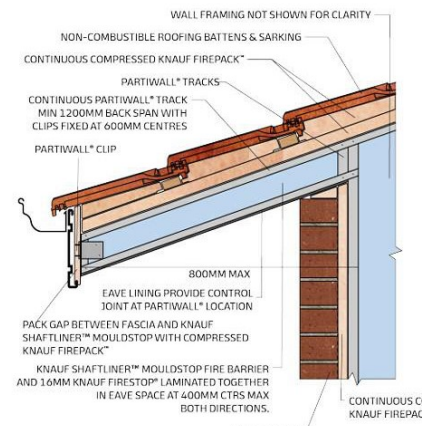


Figure 21: Rafter Closure - Section View



Note: Laminated 16mm FIRESTOP not shown for clarity. Wall framing not shown for clarity.

Figure 22: Eave Closure - Section View

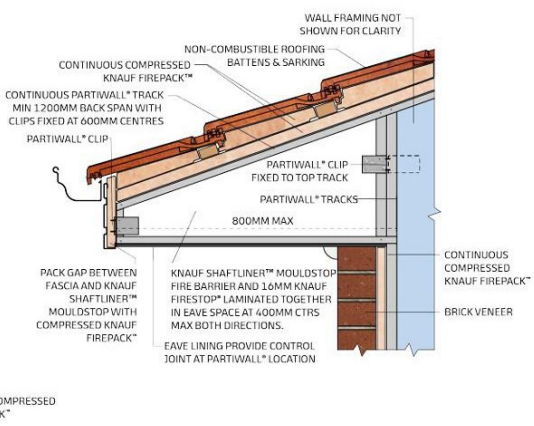


Figure 19: Staggered Metal Roof

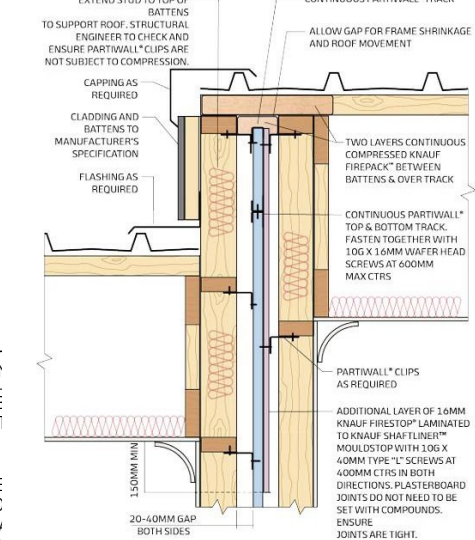
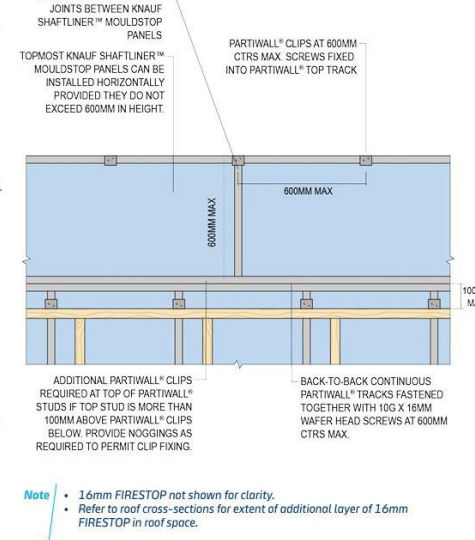
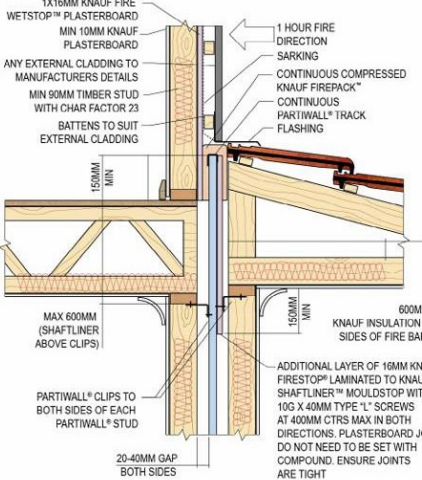


Figure 20: Horizontal SHAFTLINER MOULDSTOP Under Roof



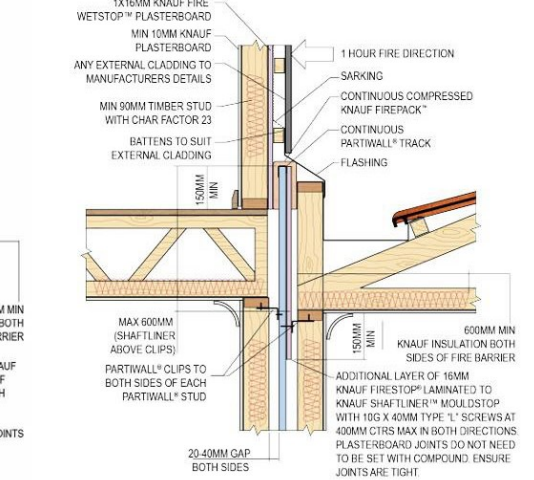
Note: 16mm FIRESTOP not shown for clarity. Refer to roof cross-sections for extent of additional layer of 16mm FIRESTOP in roof space.

Figure 23: OUTRWALL Vertical Transition - Any Cladding



Note: For Outwall details refer to Knauf. Project Engineer to refer to Knauf for OUTRWALL timber framing Charfactor design.

Figure 24: OUTRWALL Vertical Transition - Any Cladding



KNAUF PARTIWALL DETAIL

OWN

I/WE HERETO BE BUILT

I/WE HAVE HAD THEM E AND APPRC SETBACKS / ON THE PLA I/WE ACCFE

I/WE HAVE HAD THE DRIVEWAY GRADIENT EXPLAINED.

I/WE HAVE HAD THE BASIX WATER TANK OR THE DUAL WATER PLUMBING EXPLAINED.

I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.

I/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT APPLICATION.

I/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.

I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE COMPLETED WITH LANDSCAPING BY OWNER

OWNER OWNER DATE

12.03.25 PR	C (T04)	DA SUBMISSION
10.02.25 SP	B (T04)	PP AMENDMENTS
21.01.25	A (T03)	FIRST DRAW
DATE	ISSUE	REVISION

NOTE: ALL WORKS TO COMPLY WITH BCA 2022 AND RELEVANT AUSTRALIAN STANDARDS - NOTE: ALL WALLS WITHIN 900mm OF BOUNDARY TO BE 60/60/60 - ALL DIMENSIONS ARE IN MILLIMETRES. - ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE - USE WRITTEN DIMENSIONS. - THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION OF ALLCASTLE HOMES PTY LTD. - ABN 12057 761 378

PROPOSED RESIDENCE	RUTHERGLEN MKII DUPLEX MODIFIED STELLA NEW HOME FAÇADE
FOR: Mr. F HAGEALI	DATE: 21.01.25 DRAWN: DI
AT: LOT 98 (#44) COLIN STREET, LAKEMBA	SHEET NO: 05.2 JOB NO: 7740

SALES: PHONE: (02) 9629 4772
FAX: (02) 9629 5813
HEAD OFFICE: 96-100 TOONGABBIE ROAD,
GIRRAWEE NSW 2145
PHONE: (02) 9672 7055
FAX: (02) 9672 7033
ABN: 12057761378 BLDG.LIC.39371

Allcastle Homes
Make it Home
allcastlehomes.com.au

Figure 25: Typical Corner – Plan View

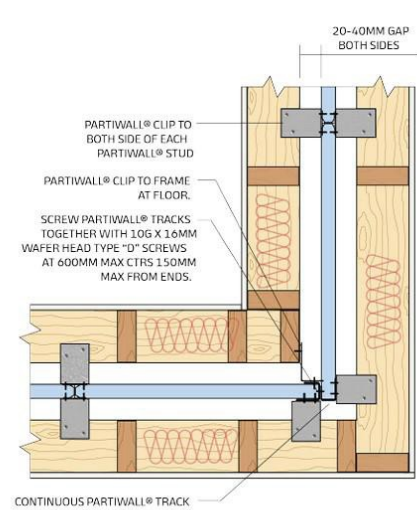


Figure 26: Internal Wall Junction – Plan View

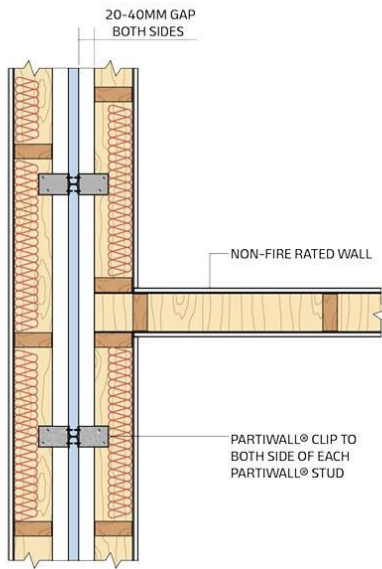
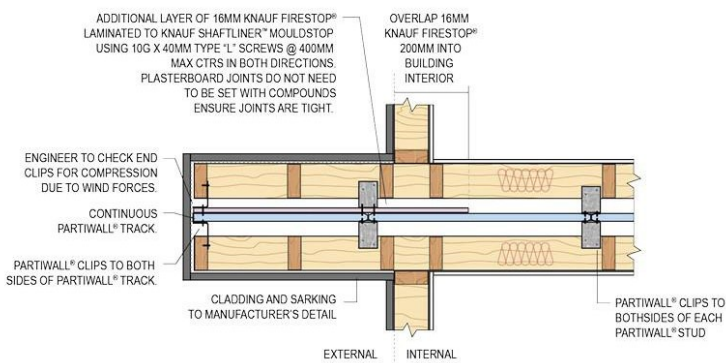


Figure 29: External to Internal PARTIWALL – Plan View



Note Aluminium flat clips can also be used to clip the PARTIWALL end.

Figure 30: OUTRWALL Horizontal Transition – Any Cladding

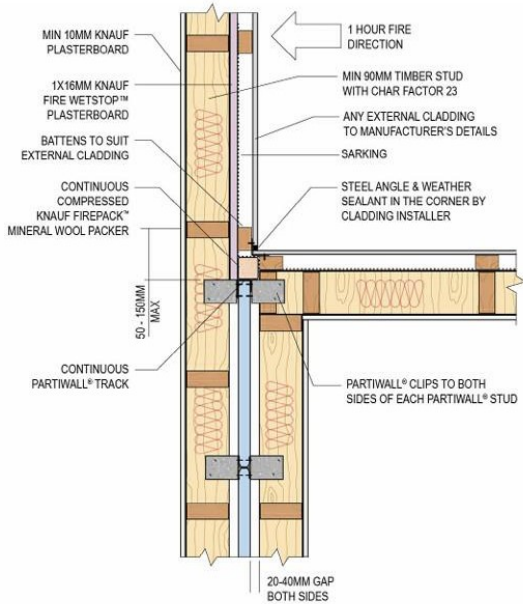


Figure 27: 4 Way Intersecting Wall – Plan View

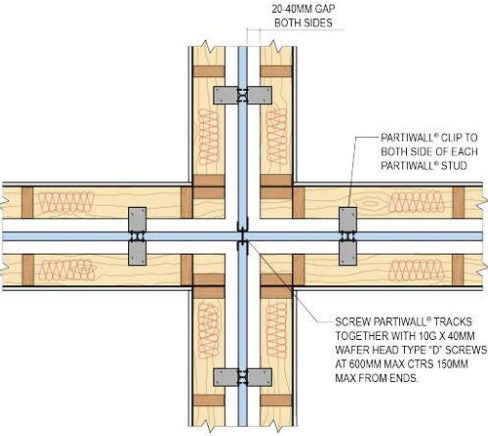


Figure 28: Adjacent Stairwell – Section View

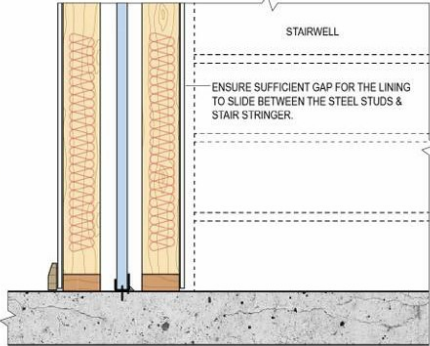


Figure 31: Clad Wall Junction – Plan View

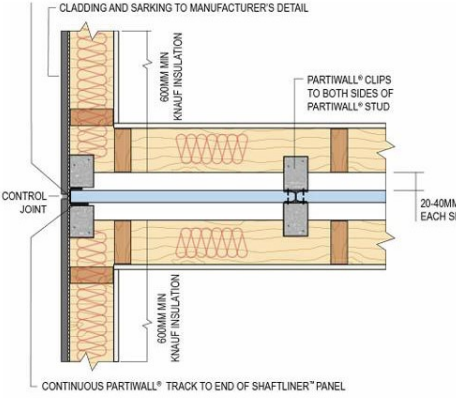


Figure 32: Clad Wall Junction with Thermal Break – Plan View

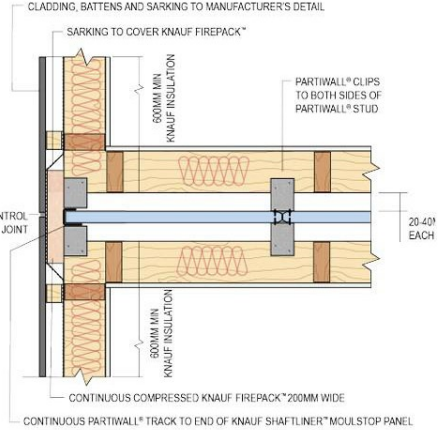
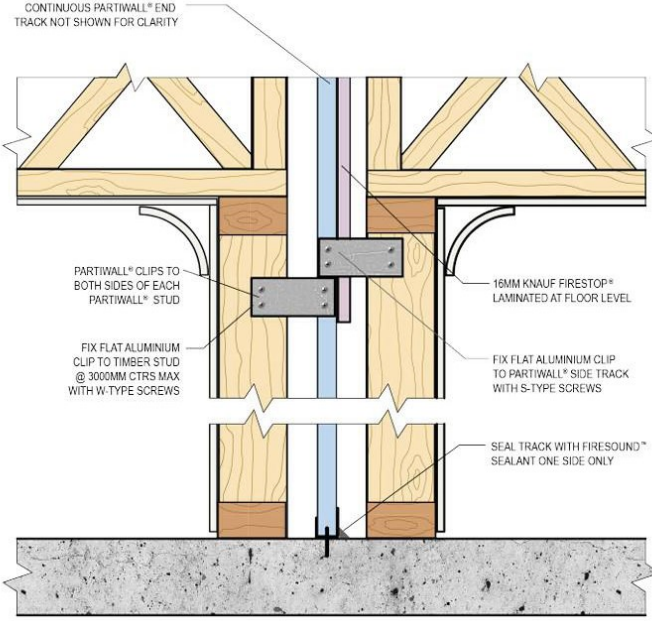
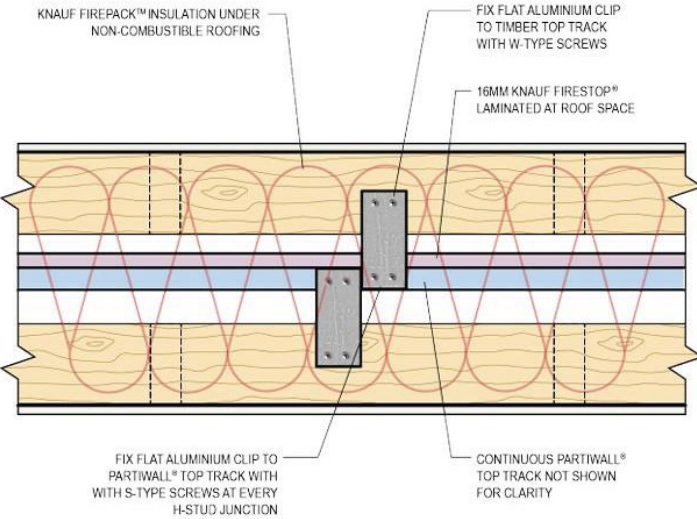


Figure 35: Flat Aluminium Clip Detail

End track



Top track



Note

- PARTIWALL flat clips can be used around the perimeter of the fire barrier, spaced at max 3000mm vertically on side tracks and 600mm horizontally on top track.
- PARTIWALL angled clips cannot be flattened and used as flat clips.

Figure 33: Brick Veneer Wall Junction 1 – Plan View

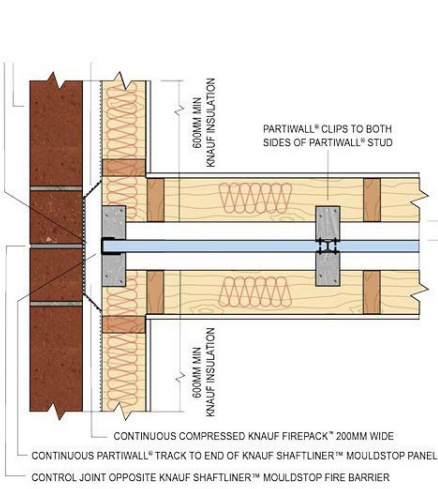
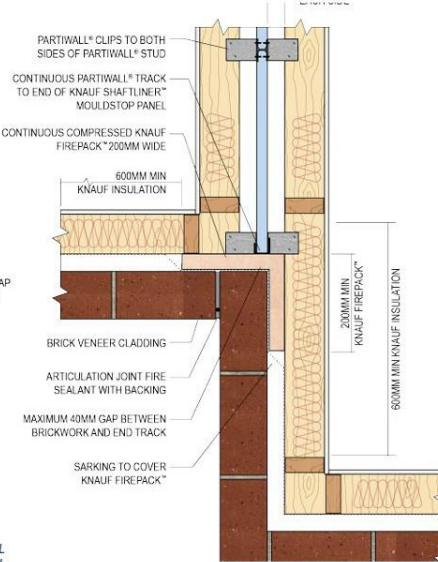


Figure 34: Brick Veneer Wall Junction 2 – Plan view



Note

Figures 31, 32, 33 and 34

- External insulation must extend min 600mm both sides of the PARTIWALL and must satisfy thermal requirements. If no thermal insulation is required use insulation specified for PARTIWALL system.
- Dependent on the framing layout, aluminium flat clips can also be used to clip the PARTIWALL end track.

I/WE HERE TO BE BI

I/WE HA HAD THE AND AP SETBACI ON THE I/WE ACCEPT NO CHANGES CAN BE MADE.

I/WE HAVE HAD THE DRIVEWAY GRADIENT EXPLAINED.

I/WE HAVE HAD THE BASIX WATER TANK OR THE DUAL WATER PLUMBING EXPLAINED.

I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.

I/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT APPLICATION.

I/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.

I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE COMPLETED WITH LANDSCAPING BY OWNER

OWNER OWNER DATE

12.03.25 PR	C (T04)	DA SUBMISSION
10.02.25 SP	B (T04)	PP AMENDMENTS
21.01.25	A (T03)	FIRST DRAW

DATE	ISSUE	REVISION
------	-------	----------

NOTE: ALL WORKS TO COMPLY WITH BCA 2022 AND RELEVANT AUSTRALIAN STANDARDS - NOTE: ALL WALLS WITHIN 900mm OF BOUNDARY TO BE 60/60/60 - ALL DIMENSIONS ARE IN MILLIMETRES. - ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE - USE WRITTEN DIMENSIONS. - THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION OF ALLCASTLE HOMES PTY LTD. - ABN 12057 761 378

PROPOSED RESIDENCE	RUTHERGLEN MKII DUPLEX MODIFIED STELLA NEW HOME FAÇADE
FOR: Mr. F HAGEALI	DATE: 21.01.25 DRAWN: DI
AT: LOT 98 (#44) COLIN STREET, LAKEMBA	SHEET NO: 05.3 JOB NO: 7740

SALES: PHONE: (02) 9629 4772
FAX: (02) 9629 5813
HEAD OFFICE: 96-100 TOONGABBIE ROAD,
GIRRAWEE NSW 2145
PHONE: (02) 9672 7055
FAX: (02) 9672 7033
ABN: 12057761378 BLDG.LIC.39371

Allcastle Homes

Make it Home

allcastlehomes.com.au

KNAUF PARTIWALL DETAILS

Figure 36: PARTIWALL Cantilever Details

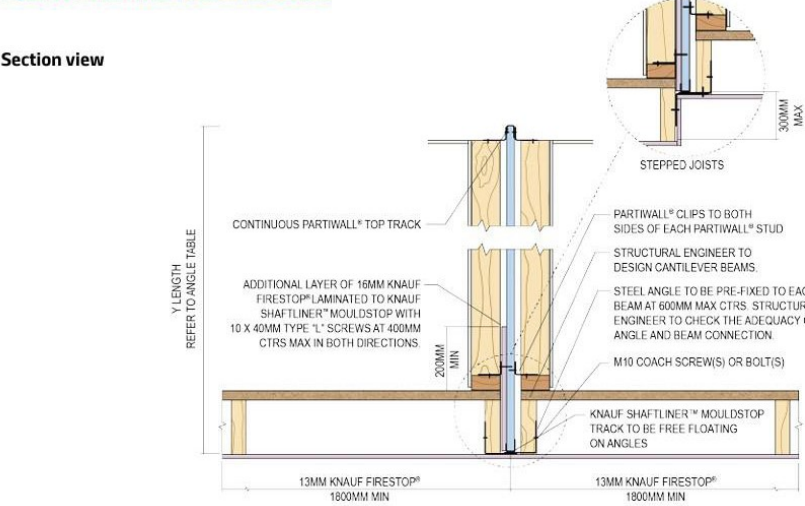
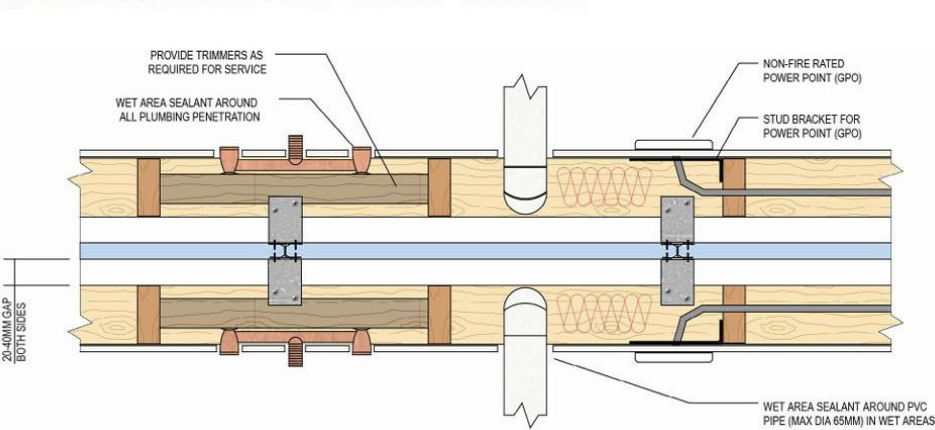
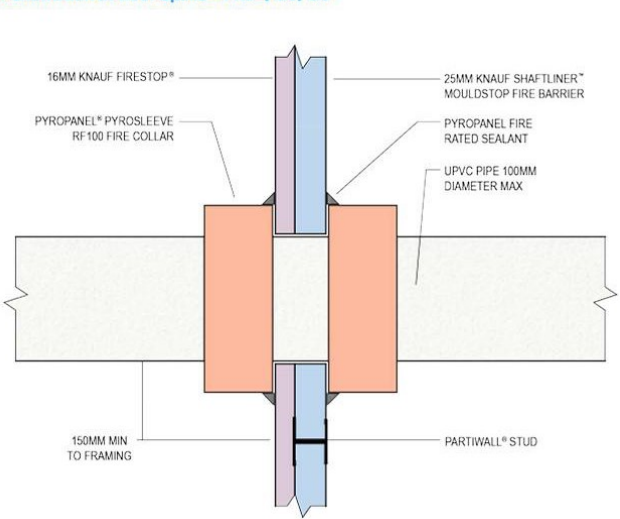


Figure 37: Back to Back Wall Penetrations – Plan Details – FRL 60/60/60



- Note**
- All penetrations can be back-to-back.
 - To achieve $R_w + C_{tr}$ 40 services separation insulation is required in the wall cavity on the opposite side of the soil/waste/water supply pipe.

Figure 38: uPVC Pipe Penetration at Roof Space – FRL -/60/60



OWNER(S) ACCEPTANCE		
I/WE HEREBY APPROVE OUR BUILDING PLANS TO BE BUILT ON OUR LAND.		
I/WE HAVE STUDIED THE PLANS AND HAVE HAD THEM EXPLAINED TO US AND ACCEPT AND APPROVE THE FRONT/REAR/SIDE SETBACKS AND CUT/FILL LEVELS AS SHOWN ON THE PLAN.		
I/WE ACCEPT NO CHANGES CAN BE MADE.		
I/WE HAVE HAD THE DRIVEWAY GRADIENT EXPLAINED.		
I/WE HAVE HAD THE BASIX WATER TANK OR THE DUAL WATER PLUMBING EXPLAINED.		
I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.		
I/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT APPLICATION.		
I/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.		
I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE COMPLETED WITH LANDSCAPING BY OWNER		
OWNER	OWNER	DATE

12.03.25 PR	C (T04)	DA SUBMISSION
10.02.25 SP	B (T04)	PP AMENDMENTS
21.01.25	A (T03)	FIRST DRAW
DATE	ISSUE	REVISION

NOTE: ALL WORKS TO COMPLY WITH BCA 2022 AND RELEVANT AUSTRALIAN STANDARDS
- NOTE: ALL WALLS WITHIN 900mm OF BOUNDARY TO BE 60/60/60 - ALL DIMENSIONS ARE IN MILLIMETRES. - ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE - USE WRITTEN DIMENSIONS. - THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION OF ALLCASTLE HOMES PTY LTD.
- ABN 12057 761 378

ALLCASTLE HOMES PTY LTD WILL TAKE NO RESPONSIBILITY FOR ANY VERBAL DISCUSSIONS OR INSTRUCTIONS. ALL CHANGES AND SPECIAL INCLUSIONS MUST BE DOCUMENTED IN WRITING. IT IS THE RESPONSIBILITY OF THE OWNER TO ENSURE THAT THE LAYOUT AND ALL SPECIAL INCLUSIONS ARE CORRECT.NOTE: WET AREA SYMBOLS ARE STRICTLY SYMBOLIC, OWNERS TO CONFIRM WET AREA ITEMS WITH SELECTIONS.

PROPOSED RESIDENCE	RUTHERGLEN MKII DUPLEX MODIFIED STELLA NEW HOME FAÇADE	
FOR: Mr. F HAGEALI	DATE: 21.01.25	SCALE: DI
AT: LOT 98 (#44) COLIN STREET, LAKEMBA	SHEET NO: 05.4	JOB NO: 7740

SALES: PHONE: (02) 9629 4772
FAX: (02) 9629 5813
HEAD OFFICE: 96-100 TOONGABBIE ROAD,
GIRRAWEE NSW 2145
PHONE: (02) 9672 7055
FAX: (02) 9672 7033
ABN: 12057761378 BLDG.LIC.39371

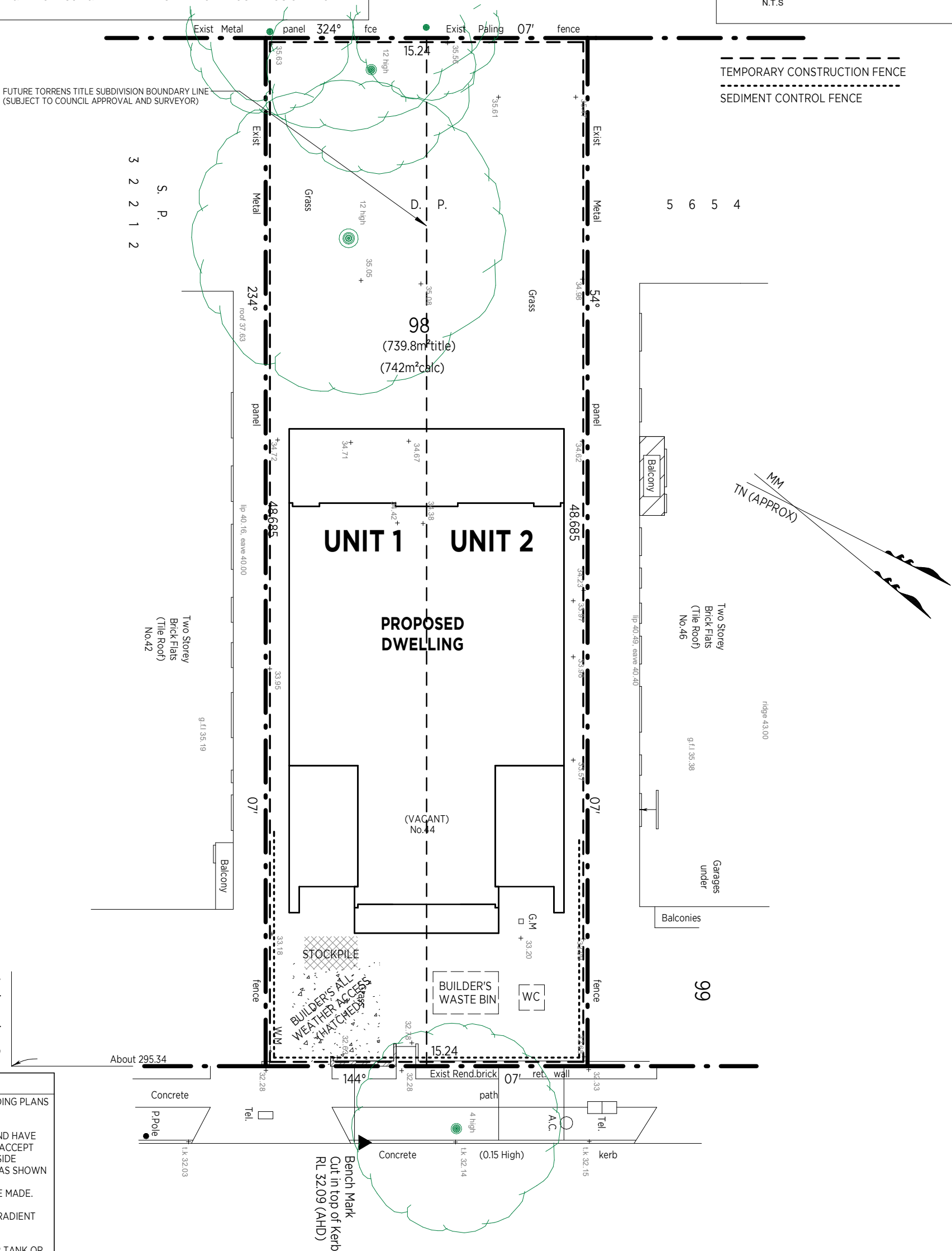
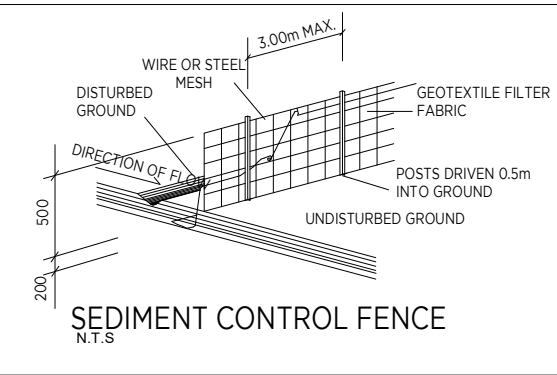
**Allcastle Homes**

Make it Home
allcastlehomes.com.au

KNAUF PARTIWALL DETAILS

SEDIMENT NOTE:

1. NO STOCKPILING OF MATERIALS IS PERMITTED ON THE VERGE BETWEEN KERB & PROPERTY BOUNDARY.
2. NO VEHICLE CROSSING OR STOCKPILING OF MATERIAL ON VEGETATION BUFFER.
3. ALL SEDIMENT RETAINING STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY.
4. ALL EXISTING VEGETATION WILL BE RETAINED OUTSIDE THE CONSTRUCTION SITE.
5. ROOF DRAINAGE IS TO BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICLE.
6. DEPRESSIONS LEFT IN THE FOOTPATH BY HEAVY TRUCKS ARE TO BE FILLED AS SOON AS POSSIBLE.
7. ONLY ONE EXIT POINT SHOULD BE USED & SHOULD BE CONSTRUCTED SO AS TO PREVENT SOIL REACHING THE ROAD & TO STOP BOGGING.
8. DRAINAGE DITCHES ABOVE & BELOW CUT & FILLED AREAS ARE TO REDUCE EROSION FROM DISTURBED GROUND.



OWNER(S) ACCEPTANCE

I/WE HEREBY APPROVE OUR BUILDING PLANS TO BE BUILT ON OUR LAND.

I/WE HAVE STUDIED THE PLANS AND HAVE HAD THEM EXPLAINED TO US AND ACCEPT AND APPROVE THE FRONT/REAR/SIDE SETBACKS AND CUT/FILL LEVELS AS SHOWN ON THE PLAN.

I/WE ACCEPT NO CHANGES CAN BE MADE.

I/WE HAVE HAD THE DRIVEWAY GRADIENT EXPLAINED.

I/WE HAVE HAD THE BASIX WATER TANK OR THE DUAL WATER PLUMBING EXPLAINED.

I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.

I/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT APPLICATION.

I/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE

I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.

I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE COMPLETED WITH LANDSCAPING BY OWNER

OWNER

OWNER

DATE

12.03.25 PR	C (T04)	DA SUBMIS
10.02.25 SP	B (T04)	PP AMENDMENTS
21.01.25	A (T03)	FIRST DRAW

DATE	ISSUE	REVISION
------	-------	----------

NOTE: ALL WORKS TO COMPLY WITH BCA 2022 AND RELEVANT AUSTRALIAN STANDARDS
- NOTE: ALL WALLS WITHIN 900mm OF BOUNDARY TO BE 60/60/60 - ALL DIMENSIONS ARE IN MILLIMETRES. - ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE - USE WRITTEN DIMENSIONS. - THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION OF ALLCASTLE HOMES PTY LTD.
- ABN 12057 761 378

ALLCASTLE HOMES PTY LTD WILL TAKE NO RESPONSIBILITY FOR ANY VERBAL DISCUSSIONS OR INSTRUCTIONS. ALL CHANGES AND SPECIAL INCLUSIONS MUST BE DOCUMENTED IN WRITING. IT IS THE RESPONSIBILITY OF THE OWNER TO ENSURE THAT THE LAYOUT AND ALL SPECIAL INCLUSIONS ARE CORRECT.NOTE: WET AREA SYMBOLS ARE STRICTLY SYMBOLIC, OWNERS TO CONFIRM WET AREA ITEMS WITH SELECTIONS.

PROPOSED RESIDENCE	RUTHERGLEN MKII DUPLEX MODIFIED STELLA NEW HOME FAÇADE	
FOR: Mr. F HAGEALI	DATE: 21.01.25	SCALE: 1 : 200
	DRAWN: DI	CHECKED
AT: LOT 98 (#44) COLIN STREET, LAKEMBA	SHEET NO: 10	JOB NO: 7740

SALES: PHONE: (02) 9629 4772

FAX: (02) 9629 5813

HEAD OFFICE: 96-100 TOONGABBIE ROAD,
GIRRAWEE NSW 2145

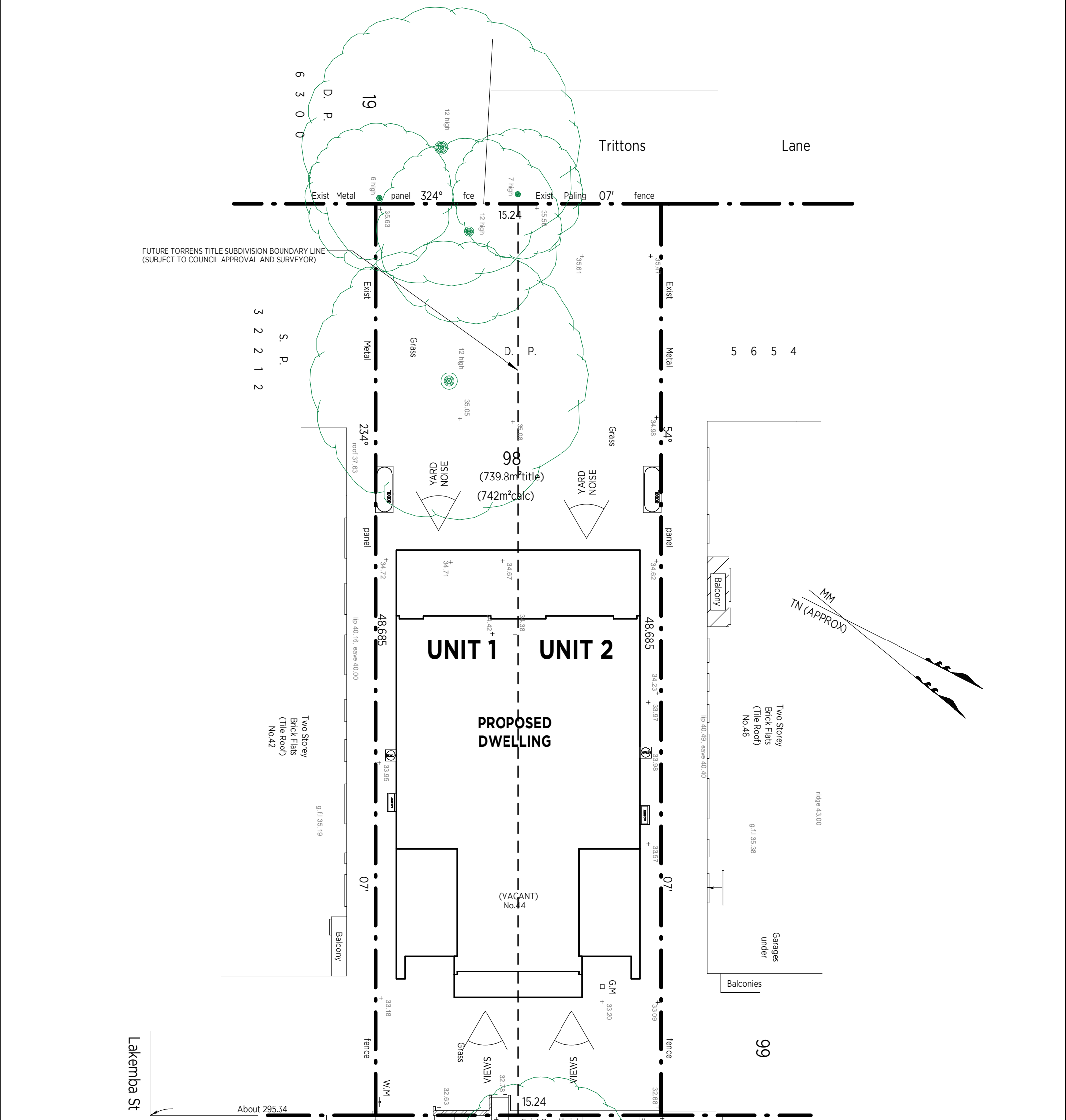
PHONE: (02) 9672 7055

FAX: (02) 9672 7033

ABN: 12057761378 BLDG.LIC.39371

Allcastle Homes

Make it Home
allcastlehomes.com.au



OWNER(S) ACCEPTANCE

I/WE HEREBY APPROVE OUR BUILDING PLANS TO BE BUILT ON OUR LAND.

I/WE HAVE STUDIED THE PLANS AND HAVE HAD THEM EXPLAINED TO US AND ACCEPT AND APPROVE THE FRONT/REAR/SIDE SETBACKS AND CUT/FILL LEVELS AS SHOWN ON THE PLAN.

I/WE ACCEPT NO CHANGES CAN BE MADE.

I/WE HAVE HAD THE DRIVEWAY GRADIENT EXPLAINED.

I/WE HAVE HAD THE BASIX WATER TANK OR THE DUAL WATER PLUMBING EXPLAINED.

I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.

I/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT APPLICATION.

I/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE

I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.

I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE COMPLETED WITH LANDSCAPING BY OWNER

OWNER OWNER DATE

12.03.25 PR 10.02.25 SP 21.01.25	C (T04) B (T04) A (T03)	DA SUBMITTED PP AMENDMENTS FIRST DRAW			
DATE	ISSUE	REVISION			
NOTE: ALL WORKS TO COMPLY WITH BCA 2022 AND RELEVANT AUSTRALIAN STANDARDS - NOTE: ALL WALLS WITHIN 900mm OF BOUNDARY TO BE 60/60/60 - ALL DIMENSIONS ARE IN MILLIMETRES. - ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE - USE WRITTEN DIMENSIONS. - THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION OF ALLCASTLE HOMES PTY LTD. - ABN 12057 761 378			ALLCASTLE HOMES PTY LTD WILL TAKE NO RESPONSIBILITY FOR ANY VERBAL DISCUSSIONS OR INSTRUCTIONS. ALL CHANGES AND SPECIAL INCLUSIONS MUST BE DOCUMENTED IN WRITING. IT IS THE RESPONSIBILITY OF THE OWNER TO ENSURE THAT THE LAYOUT AND ALL SPECIAL INCLUSIONS ARE CORRECT.NOTE: WET AREA SYMBOLS ARE STRICTLY SYMBOLIC, OWNERS TO CONFIRM WET AREA ITEMS WITH SELECTIONS.		
PROPOSED RESIDENCE		RUTHERGLEN MKII DUPLEX MODIFIED STELLA NEW HOME FACADE		SALES: PHONE: (02) 9629 4772 FAX: (02) 9629 5813	
FOR: Mr. F HAGEALI		DATE: 21.01.25	SCALE: 1 : 200	HEAD OFFICE: 96-100 TOONGABBIE ROAD, GIRRAWEE NSW 2145	
AT: LOT 98 (#44) COLIN STREET, LAKEMBA		DRAWN: DI	CHECKED	PHONE: (02) 9672 7055 FAX: (02) 9672 7033 ABN: 12057761378 BLDG.LIC.39371	
		SHEET NO: 20	JOB NO: 7740		

OWNER(S) ACCEPTANCE

I/WE HEREBY APPROVE OUR BUILDING PLANS TO BE BUILT ON OUR LAND.

I/WE HAVE STUDIED THE PLANS AND HAVE HAD THEM EXPLAINED TO US AND ACCEPT AND APPROVE THE FRONT/REAR/SIDE SETBACKS AND CUT/FILL LEVELS AS SHOWN ON THE PLAN.

I/WE ACCEPT NO CHANGES CAN BE MADE.

I/WE HAVE HAD THE DRIVEWAY GRADIENT EXPLAINED.

I/WE HAVE HAD THE BASIX WATER TANK OR THE DUAL WATER PLUMBING EXPLAINED.

I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.

I/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT APPLICATION.

I/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE

I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.

I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE COMPLETED WITH LANDSCAPING BY OWNER

OWNER OWNER DATE

OWNER(S) ACCEPTANCE

I/WE HEREBY APPROVE OUR BUILDING PLANS TO BE BUILT ON OUR LAND.

I/WE HAVE STUDIED THE PLANS AND HAVE HAD THEM EXPLAINED TO US AND ACCEPT AND APPROVE THE FRONT/REAR/SIDE SETBACKS AND CUT/FILL LEVELS AS SHOWN ON THE PLAN.

I/WE ACCEPT NO CHANGES CAN BE MADE.

I/WE HAVE HAD THE DRIVEWAY GRADIENT EXPLAINED.

I/WE HAVE HAD THE BASIX WATER TANK OR THE DUAL WATER PLUMBING EXPLAINED.

I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.

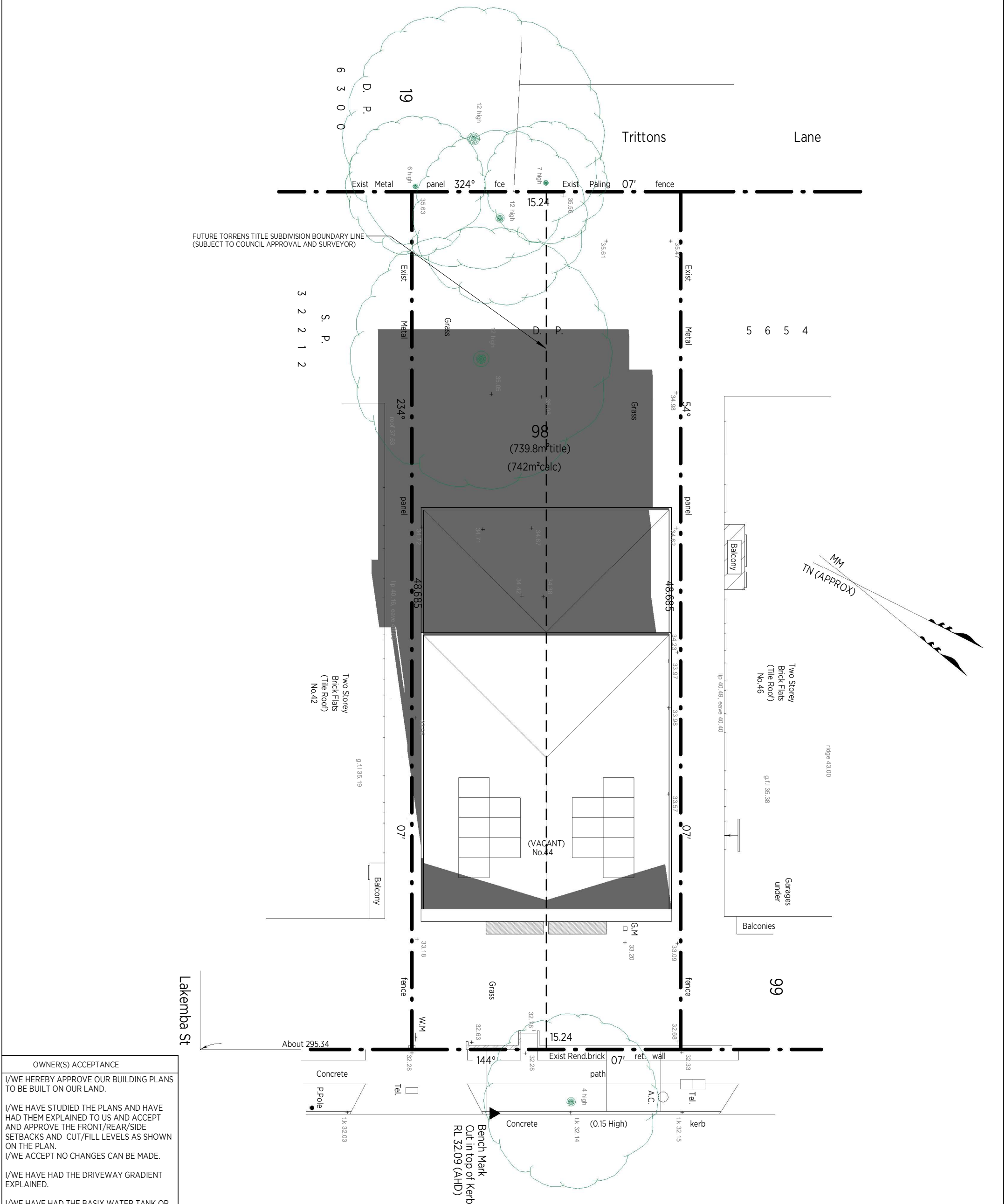
I/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT APPLICATION.

I/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE

I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.

I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE COMPLETED WITH LANDSCAPING BY OWNER

OWNER OWNER DATE



OWNER(S) ACCEPTANCE

I/WE HEREBY APPROVE OUR BUILDING PLANS TO BE BUILT ON OUR LAND.

I/WE HAVE STUDIED THE PLANS AND HAVE HAD THEM EXPLAINED TO US AND ACCEPT AND APPROVE THE FRONT/REAR/SIDE SETBACKS AND CUT/FILL LEVELS AS SHOWN ON THE PLAN.

I/WE ACCEPT NO CHANGES CAN BE MADE.

I/WE HAVE HAD THE DRIVEWAY GRADIENT EXPLAINED.

I/WE HAVE HAD THE BASIX WATER TANK OR THE DUAL WATER PLUMBING EXPLAINED.

I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.

I/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT APPLICATION.

I/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE

I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.

I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE COMPLETED WITH LANDSCAPING BY OWNER

OWNER OWNER DATE

12.03.25 PR	C (T04)	DA SUBMISSION
10.02.25 SP	B (T04)	PP AMENDMENTS
21.01.25	A (T03)	FIRST DRAW

DATE	ISSUE	REVISION
------	-------	----------

NOTE: ALL WORKS TO COMPLY WITH BCA 2022 AND RELEVANT AUSTRALIAN STANDARDS
- NOTE: ALL WALLS WITHIN 900mm OF BOUNDARY TO BE 60/60/60 - ALL DIMENSIONS ARE IN MILLIMETRES. - ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE - USE WRITTEN DIMENSIONS. - THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION OF ALLCASTLE HOMES PTY LTD.
- ABN 12057 761 378

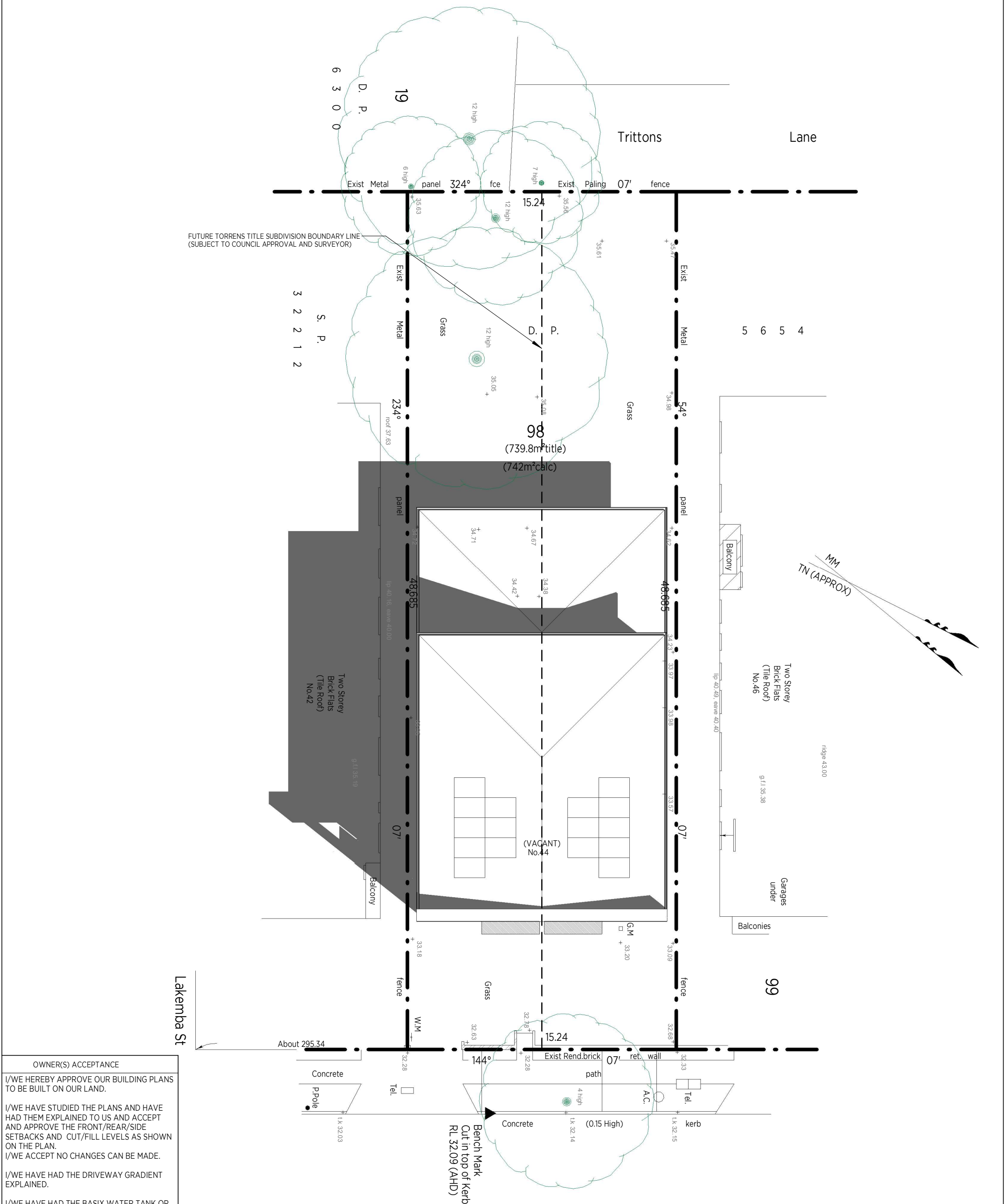
ALLCASTLE HOMES PTY LTD WILL TAKE NO RESPONSIBILITY FOR ANY VERBAL DISCUSSIONS OR INSTRUCTIONS. ALL CHANGES AND SPECIAL INCLUSIONS MUST BE DOCUMENTED IN WRITING. IT IS THE RESPONSIBILITY OF THE OWNER TO ENSURE THAT THE LAYOUT AND ALL SPECIAL INCLUSIONS ARE CORRECT.NOTE: WET AREA SYMBOLS ARE STRICTLY SYMBOLIC, OWNERS TO CONFIRM WET AREA ITEMS WITH SELECTIONS.

PROPOSED RESIDENCE	RUTHERGLEN MKII DUPLEX MODIFIED STELLA NEW HOME FACADE	
FOR: Mr. F HAGEALI	DATE: 21.01.25	SCALE: 1 : 200
	DRAWN: DI	CHECKED
AT: LOT 98 (#44) COLIN STREET, LAKEMBA	SHEET NO: 21.1	JOB NO: 7740

SALES: PHONE: (02) 9629 4772
FAX: (02) 9629 5813
HEAD OFFICE: 96-100 TOONGABBIE ROAD,
GIRRAWEE NSW 2145
PHONE: (02) 9672 7055
FAX: (02) 9672 7033
ABN: 12057761378 BLDG.LIC.39371

**Allcastle Homes**

Make it Home
allcastlehomes.com.au



OWNER(S) ACCEPTANCE

I/WE HEREBY APPROVE OUR BUILDING PLANS TO BE BUILT ON OUR LAND.

I/WE HAVE STUDIED THE PLANS AND HAVE HAD THEM EXPLAINED TO US AND ACCEPT AND APPROVE THE FRONT/REAR/SIDE SETBACKS AND CUT/FILL LEVELS AS SHOWN ON THE PLAN.

I/WE ACCEPT NO CHANGES CAN BE MADE.

I/WE HAVE HAD THE DRIVEWAY GRADIENT EXPLAINED.

I/WE HAVE HAD THE BASIX WATER TANK OR THE DUAL WATER PLUMBING EXPLAINED.

I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.

I/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT APPLICATION.

I/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE

I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.

I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE COMPLETED WITH LANDSCAPING BY OWNER

OWNER

OWNER

DATE

12.03.25 PR	C (T04)	DA SUBMISSION
10.02.25 SP	B (T04)	PP AMENDMENTS
21.01.25	A (T03)	FIRST DRAW
DATE	ISSUE	REVISION
NOTE: ALL WORKS TO COMPLY WITH BCA 2022 AND RELEVANT AUSTRALIAN STANDARDS - NOTE: ALL WALLS WITHIN 900mm OF BOUNDARY TO BE 60/60/60 - ALL DIMENSIONS ARE IN MILLIMETRES. - ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE - USE WRITTEN DIMENSIONS. - THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION OF ALLCASTLE HOMES PTY LTD. - ABN 12057 761 378		

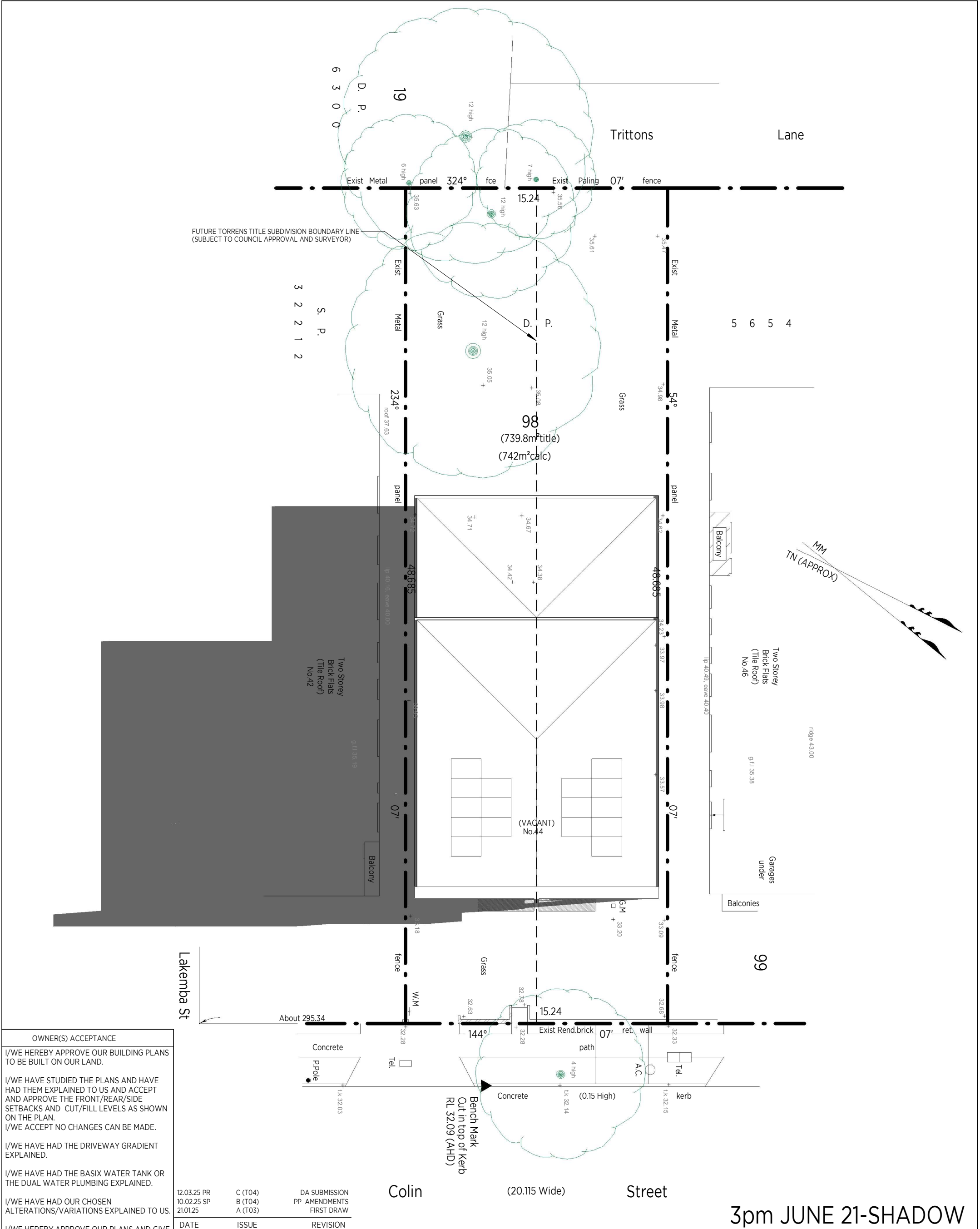
PROPOSED RESIDENCE	RUTHERGLEN MKII DUPLEX MODIFIED STELLA NEW HOME FACADE	
FOR: Mr. F HAGEALI	DATE:	SCALE:
	21.01.25	1 : 200
AT: LOT 98 (#44) COLIN STREET, LAKEMBA	DRAWN:	CHECKED
	DI	
	SHEET NO:	JOB NO:
	21.2	7740

SALES: PHONE: (02) 9629 4772
FAX: (02) 9629 5813
HEAD OFFICE: 96-100 TOONGABBIE ROAD,
GIRRAWEE NSW 2145
PHONE: (02) 9672 7055
FAX: (02) 9672 7033
ABN: 12057761378 BLDG.LIC.39371



Allcastle Homes

Make it Home
allcastlehomes.com.au



OWNER(S) ACCEPTANCE

I/WE HEREBY APPROVE OUR BUILDING PLANS TO BE BUILT ON OUR LAND.

I/WE HAVE STUDIED THE PLANS AND HAVE HAD THEM EXPLAINED TO US AND ACCEPT AND APPROVE THE FRONT/REAR/SIDE SETBACKS AND CUT/FILL LEVELS AS SHOWN ON THE PLAN.

I/WE ACCEPT NO CHANGES CAN BE MADE.

I/WE HAVE HAD THE DRIVEWAY GRADIENT EXPLAINED.

I/WE HAVE HAD THE BASIX WATER TANK OR THE DUAL WATER PLUMBING EXPLAINED.

I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.

I/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT APPLICATION.

I/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE

I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.

I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE COMPLETED WITH LANDSCAPING BY OWNER

OWNEROWNERDATE

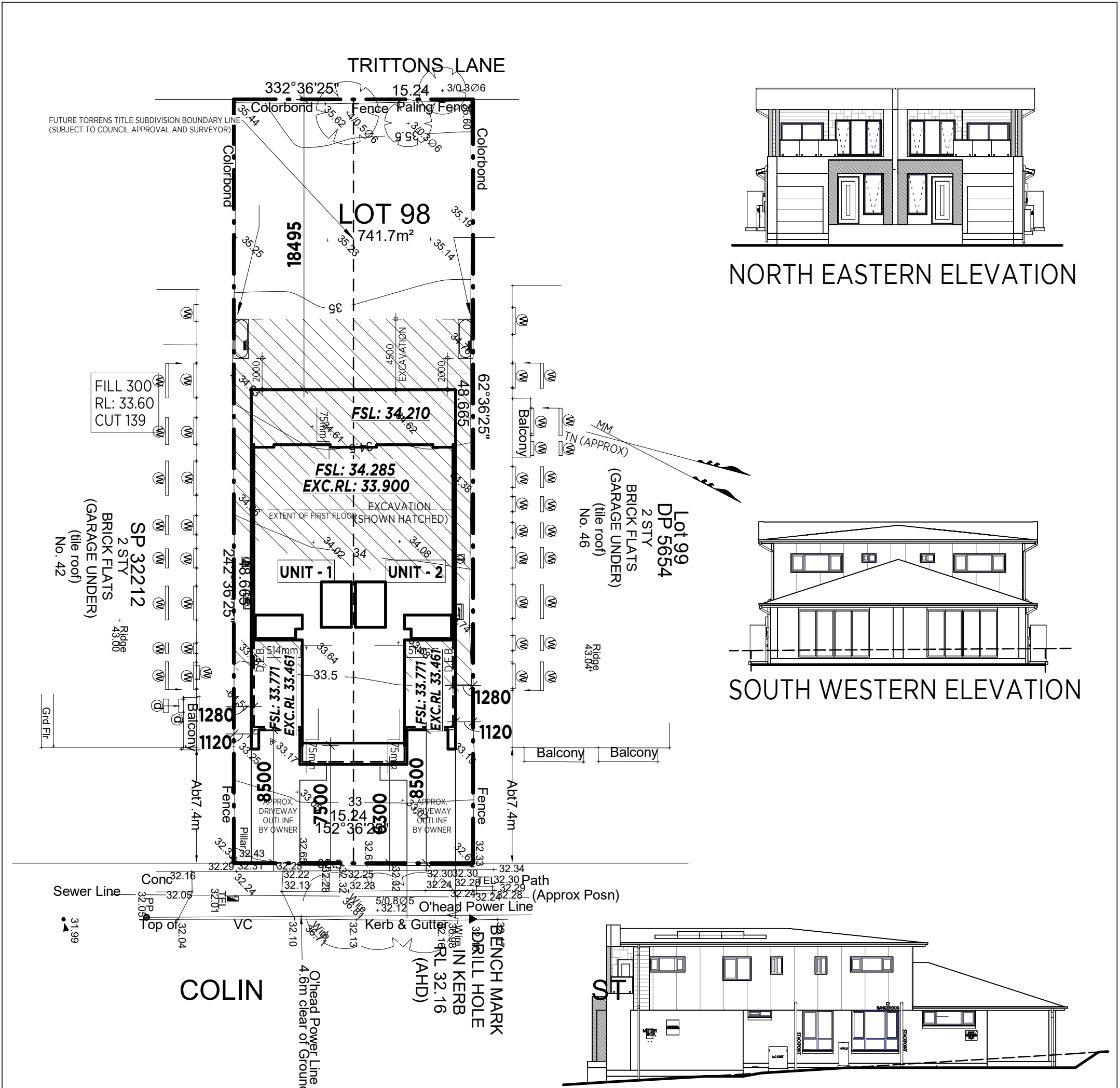
12.03.25 PR	C (T04)	DA SUBMISSION
10.02.25 SP	B (T04)	PP AMENDMENTS
21.01.25	A (T03)	FIRST DRAW
DATE	ISSUE	REVISION
NOTE: ALL WORKS TO COMPLY WITH BCA 2022 AND RELEVANT AUSTRALIAN STANDARDS - NOTE: ALL WALLS WITHIN 900mm OF BOUNDARY TO BE 60/60/60 - ALL DIMENSIONS ARE IN MILLIMETRES. - ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE - USE WRITTEN DIMENSIONS. - THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION OF ALLCASTLE HOMES PTY LTD. - ABN 12057 761 378		
PROPOSED RESIDENCE		RUTHERGLEN MKII DUPLEX MODIFIED STELLA NEW HOME FACADE
FOR: Mr. F HAGEALI	DATE:	21.01.25
	DRAWN:	DI
AT: LOT 98 (#44) COLIN STREET, LAKEMBA	SHEET NO:	21.3
	JOB NO:	7740

ALLCASTLE HOMES PTY LTD WILL TAKE NO RESPONSIBILITY FOR ANY VERBAL DISCUSSIONS OR INSTRUCTIONS. ALL CHANGES AND SPECIAL INCLUSIONS MUST BE DOCUMENTED IN WRITING. IT IS THE RESPONSIBILITY OF THE OWNER TO ENSURE THAT THE LAYOUT AND ALL SPECIAL INCLUSIONS ARE CORRECT.NOTE: WET AREA SYMBOLS ARE STRICTLY SYMBOLIC, OWNERS TO CONFIRM WET AREA ITEMS WITH SELECTIONS.

SALES: PHONE: (02) 9629 4772
FAX: (02) 9629 5813
HEAD OFFICE: 96-100 TOONGABBIE ROAD,
GIRRAWEE NSW 2145
PHONE: (02) 9672 7055
FAX: (02) 9672 7033
ABN: 12057761378 BLDG.LIC.39371

Allcastle Homes

Make it Home
allcastlehomes.com.au



OWNER(S) ACCEPTANCE

I/WE HEREBY APPROVE OUR BUILDING PLANS TO BE BUILT ON OUR LAND.

I/WE HAVE STUDIED THE PLANS AND HAVE HAD THEM EXPLAINED TO US AND ACCEPT AND APPROVE THE FRONT/REAR/SIDE SETBACKS AND CUT/FILL LEVELS AS SHOWN ON THE PLAN.

I/WE ACCEPT NO CHANGES CAN BE MADE.

I/WE HAVE HAD THE DRIVEWAY GRADIENT EXPLAINED.

I/WE HAVE HAD THE BASIX WATER TANK OR THE DUAL WATER PLUMBING EXPLAINED.

I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.

I/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT APPLICATION.

I/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE

I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.

I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE COMPLETED WITH LANDSCAPING BY OWNER

OWNER OWNER DATE

12.03.25 PR	C (T04)	DA SUBMISSION
10.02.25 SP	B (T04)	PP AMENDMENTS
21.01.25	A (T03)	FIRST DRAW
DATE	ISSUE	REVISION

NOTE: ALL WORKS TO COMPLY WITH BCA 2022 AND RELEVANT AUSTRALIAN STANDARDS
- NOTE: ALL WALLS WITHIN 900mm OF BOUNDARY TO BE 60/60/60 - ALL DIMENSIONS ARE IN MILLIMETRES. - ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE - USE WRITTEN DIMENSIONS. - THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION OF ALLCASTLE HOMES PTY LTD.
- ABN 12057 761 378

PROPOSED RESIDENCE	RUTHERGLEN MKII DUPLEX MODIFIED STELLA NEW HOME FAÇADE	
FOR: Mr. F HAGEALI	DATE: 21.01.25	SCALE: As indicated
	DRAWN: DI	CHECKED
AT: LOT 98 (#44) COLIN STREET, LAKEMBA	SHEET NO: 22	JOB NO: 7740

SOUTH EASTERN ELEVATION NOTIFICATION PLANS

SALES: PHONE: (02) 9629 4772
FAX: (02) 9629 5813
HEAD OFFICE: 96-100 TOONGABBIE ROAD,
GIRRAWEE NSW 2145
PHONE: (02) 9672 7055
FAX: (02) 9672 7033
ABN: 12057761378 BLDG.LIC.39371

 **Allcastle Homes**
Make it Home
allcastlehomes.com.au